

**Sylvania City Council**

April 18, 2016

**7:30 p.m. Council Meeting**

**Agenda**

1. Roll call.
2. Pledge of Allegiance to the United States of America led by Mrs. Westphal.
3. Additions to the agenda.
4. Approval of the Council meeting minutes of April 4, 2016.
5. Chief Rhodus to introduce the new Tele-Communicator, Benjaman Ellis.
6. Plan Commission's recommendation for Zoning Ordinance Amendment ZA-1-2016, Request from Dave Schmidt at 4337 McCord Rd, Sylvania. OH. Set Public Hearing. (Earliest date on regular scheduled council meeting dates: June 6<sup>th</sup>, 2016)
7. King Road Widening & Resurfacing Project.
  - a. Service Director's report on Utility & Temporary Construction Easements.
  - b. Proposed Ordinance No. 22-2016, "Accepting an Easement from the Toledo Lucas County Public Library for the purpose of the Construction and Maintenance of a Public Sewer."
8. Dump Truck Purchase.
  - a. Service Director's report on purchase.
  - b. Proposed Ordinance No. 23-2016, "Authorizing the Mayor and Director of Finance to Accept the Proposal of Henderson Truck Equipment-Ohio for the Provision of a New Dump Truck Body and Snow Plow Package for the Division of Streets."
9. 2016 Microsurfacing Project.
  - a. Service Director's report on project.
  - b. Proposed Ordinance No. 24-2016 "Accepting the Proposal of Strawser Construction, Inc. to provide pavement rehabilitation work for the 2016 Microsurfacing Project."
10. Proposed Resolution No. 6-2016, "Adopting a Policy for Mowing and Grounds Maintenance within Street Rights-of-Way Policy."
11. Proposed Ordinance No. 56-2015, Amending the Codified Ordinances of Sylvania, 1979, as amended, by amending Chapter 1187- Architectural District; Repealing Chapter 1152 – Design Review Regulations, Repealing Chapter 1150- Neighborhood Conservation Overlay District; Repealing Chapter 1151 – Downtown Overlay District."

12. Sylvania Historical Village trustee appointments.
13. Notice of a new D5I (Spirituous liquor for on premises consumption only, beer, wine and mixed beverages for on premises, or off premises in original sealed containers until 2:30a.m.) permit from Cobacu, LLC, d/b/a Tekela, 5147 Main St., Sylvania, OH.
14. Committee reports.
  - a. Finance Committee meeting held 4/13/16.
15. Committee referrals.

### **INFORMATION**

- A. March 2016 Bank Reconciliation.
- B. Lucas County Commissioner's letter regarding Annexation Petitions 2016-1 and 2016-2.
- C. Municipal Planning Commission minutes from April 13, 2016.
- D. Board of Architectural Review minutes from April 13, 2016.

Minutes of the Meeting of Council  
April 4, 2016

The Council of the City of Sylvania, Ohio met in regular session on April 4, 2016 at 7:30 p.m. with Mayor Craig A. Stough in the chair. Roll was called with the following members present: Katie Cappellini, Mark Frye, Doug Haynam, Sandy Husman, Mark Luetke, Jason Mishka, Mary Westphal (7) present;(0) absent.

Roll call:  
All present.

Mr. Mishka led the Pledge of Allegiance to the United States of America.

Pledge of Alleg.

Mayor Stough stated that Council will now consider agenda item 3.

Requests were made for the following additions to the agenda:

Additions to the agenda.

10b. Schedule a Finance Committee meeting.

10d. Schedule an Employee & Community Relations Committee meeting.

Mr. Haynam moved, Mrs. Westphal seconded to approve the agenda as amended; roll call vote being: Cappellini, Frye, Haynam, Husman, Luetke, Mishka, Westphal, (7) yeas; (0) nays. The motion carried.

Mayor Stough stated that Council will now consider agenda item 4.

Mrs. Westphal presented the March 21, 2016 meeting minutes. Mrs. Westphal moved, Mr. Luetke seconded, that since the Mayor, members of Council, and others had been furnished copies of these minutes prior to this meeting, Council dispense with the reading of these minutes at this time, and the journal of the minutes of the regular meeting of March 21, 2016 be approved; roll call vote being: Frye, Haynam, Husman, Luetke, Mishka, Westphal, Cappellini, (7) yeas; (0) nays. The motion carried.

Approval of the March 21 meeting minutes.

Mayor Stough stated that Council will now consider agenda item 5.

Mr. Mishka moved, Mr. Haynam seconded to refer the Refuse/Recycling Contract to the Utilities and Environmental Committee for review and recommendation; roll call vote being: Haynam, Husman, Luetke, Mishka, Westphal, Cappellini, Frye, (7) yeas; (0) nays. The motion carried.

Refer Refuse/ Recycling Contract to Utilities Com.

Mayor Stough stated that Council will now consider agenda item 6.

Service Director's report on King Road Widening & Resurfacing & Harroun Road Resurfacing Project was placed on file. Mr. Frye presented and read aloud by title only, proposed Ordinance No. 19-2016, a written copy of same having been previously furnished to each member of Council, "Accepting the bid of Gerken Paving, Inc. and awarding the contract for the King Road Widening and Resurfacing and Harroun Road Resurfacing Project to same; authorizing the expenditure for the improvements in the amount of \$505,591.90; appropriating funds therefore; and declaring an emergency.";

Ordinance 19-2016; "Accepting proposal... Gerken Paving ...King Rd Widening &

Minutes of the Meeting of Council  
April 4, 2016

Mr. Frye moved, Mr. Haynam seconded, that Council dispense with the Second and Third Readings of said Ordinance; roll call vote being: Husman, Luetke, Mishka, Westphal, Cappellini, Frye, Haynam, (7) yeas; (0) nays. The motion carried. resurfacing & Harroun Rd. resurfacing.”

Mr. Frye moved, Mrs. Westphal seconded, that Ordinance No. 19-2016 be enacted as an emergency measure as declared therein; roll call vote being: Luetke, Mishka, Westphal, Cappellini, Frye, Haynam, Husman, (7) yeas; (0) nays. The motion carried.

Mayor Stough stated that Council will now consider agenda item 7.

Mrs. Cappellini presented and read aloud by title only, proposed Ordinance No. 20-2016, a written copy of same having been previously furnished to each member of Council, “Accepting an easement from GLR Ohio #6 Limited Partnership for the purpose of maintaining and installing a bike path; and declaring an emergency.” Mrs. Cappellini moved, Mr. Luetke seconded, that Council dispense with the Second and Third Readings of said Ordinance; roll call vote being: Mishka, Westphal, Cappellini, Frye, Haynam, Husman, Luetke, (7) yeas; (0) nays. The motion carried. Ordinance No. 20-2016, “...easement from GLR Ohio #6...bike path...”

Mrs. Cappellini moved, Mrs. Westphal seconded, that Ordinance No. 20-2016 be enacted as an emergency measure as declared therein; roll call vote being: Westphal, Cappellini, Frye, Haynam, Husman, Luetke, Mishka, (7) yeas; (0) nays. The motion carried.

Mayor Stough stated that Council will now consider agenda item 8.

Mr. Mishka presented and read aloud by title only, proposed Ordinance No. 21-2016, a written copy of same having been previously furnished to each member of Council, “Accepting an easement from Sylvania Country Club for the purpose of maintaining and installing a bike path; and declaring an emergency.” Mr. Mishka moved, Mrs. Husman seconded, that Council dispense with the Second and Third Readings of said Ordinance; roll call vote being: Cappellini, Frye, Haynam, Husman, Luetke, Mishka, Westphal, (7) yeas; (0) nays. The motion carried. Ordinance No. 21-2016, “...easement from Sylvania Country Club...bike path...”

Mr. Mishka moved, Mrs. Westphal seconded, that Ordinance No. 21-2016 be enacted as an emergency measure as declared therein; roll call vote being: Luetke, Mishka, Westphal, Cappellini, Frye, Haynam, Husman, (7) yeas; (0) nays. The motion carried.

Minutes of the Meeting of Council  
April 4, 2016

Mayor Stough stated that Council will now consider agenda item 9.

Mrs. Westphal moved, Mr. Luetke seconded to not request a public hearing on the new D-1 liquor permit from R. Fuentes 2, LLC dba as El Salto 2, 5817 Monroe St., Sylvania, OH; roll call vote being: Mishka, Westphal, Cappellini, Frye, Haynam, Husman, Luetke, (7) yeas; (0) nays. The motion carried.

No hearing requested for new D1 Liquor Permit...ElSalto 2, LLC.

Mayor Stough stated that Council will now consider agenda item 10.

Mr. Haynam reported the Zoning and Annexation Committee met on March 30, 2016 to discuss the updated draft of the Design Guidelines. He stated the Guidelines will be advanced to Council for action.

Z & A Com. mtg....Design Gudielines...

Mrs. Westphal reported the Finance Committee met on April 1, 2016 to discuss the Finance and Debt Policy of the City. There was discussion on reducing operating expenses and the need to identify options to increase revenue.

Finance Com mtg....Finance/Debt Policy.

Mrs. Westphal set a Finance Committee meeting on April 13, 2016 at 4:00 p.m. to continue discussion on the Finance and Debt Policy.

Mr. Frye reported the Street Committee met on this day at 7:00p.m. to discuss the Street Right-of-Way Maintenance Policy. After several revisions to the Policy, the recommendation was to advance the revised Policy to Council for action.

Street Com. mtg....Street Right-of-way Maint. Policy.

Mayor Stough stated that all items on the agenda had been considered.

Mrs. Westphal moved, Mr. Mishka seconded that this meeting adjourn; all present voting yea (7); (0) nays. The motion carried and the meeting adjourned at 8:09 p.m.

Adjournment.

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Clerk of Council

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Mayor



# City Of Sylvania

DEPARTMENT OF PUBLIC SERVICE

KEVIN G. ALLER, PE DIRECTOR

April 14, 2016

To: Mayor and Members of City Council

Re: **Council Referral – Zoning Ordinance Amendment ZA-1-2016**

Dear Mayor and Members of Council:

Following is an excerpt from the minutes of the regular meeting of the Municipal Planning Commission of February April 13, 2016, Council Referral – Zoning Ordinance Amendment Petition No. ZA-1-2016, a request from David Schmitt to change the zoning from R-1, “Single-Family Residential Large Lot District” to R-3 PD, “Multiple Dwelling Medium Density District” for property located at 4337 McCord Road, Sylvania, Ohio 43560 (continued from the March 16, 2016 meeting):

..."Mr. Marciniak moved, Mr. Arnold seconded, to recommend that Council approve a zoning change to R-1 PD, inclusive of meeting the requirements of the Service Department’s March 10, 2016 Development Plan Review. Vote being: Stough, McCann, Marciniak, Arnold and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote."...

Sincerely,

Debra Webb, Secretary  
Municipal Planning Commission



DEPARTMENT OF PUBLIC SERVICE  
KEVIN G. ALLER, PE, DIRECTOR

6730 MONROE STREET  
SYLVANIA, OH 43560

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**DATE:** March 10, 2016

**PROJECT:** Woodland Hills Residential Development Plan

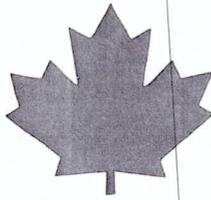
**PURPOSE:** Development Plan Review

**PREPARED BY:** Kevin G. Aller, P.E., Director  
Joseph E. Shaw, P.E., P.S., Deputy Director

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This review was performed on the Development Plan and Zoning Amendment Application submitted by Dave Schmitt for Woodland Hills on McCord Road.

1. All roadways shown are private and will not be maintained by the City. Refuse and recycling service will be the responsibility of the owner and should be memorialized on the plan in an Owner's Certification.
2. All utilities are to be public and provided in sufficient width easements according to City code.
3. The development will be required to install sidewalks and should be tied into existing sidewalks on McCord Road.
4. Lucas County Access Management Regulations classify McCord Road as a Minor Arterial. Proposed roadways (Woodland Hills Drive & Sylvan Hills Drive) can be classified as Low Volume Driveways (10-50 peak hour trips). 47 proposed units are planned.
  - a. Development needs to show corner spacing distances from Lincoln Parkway and Victoria Court to each proposed roadway intersection. Minimum corner spacing requirements for a Minor Arterial is 360'.
  - b. Development needs to show the spacing between proposed roadways. Minimum spacing is 305'.
5. The proposed pavement width for Sylvan Hills Drive is 25' b/b which will yield a drivable pavement width of 20'. Lucas County standard is 27' b/b.
6. End of pavement at the north and south end of Westhill Drive should be reduced to driveways for the last units with landscaping buffers provided at each end. No guardrail.
7. Drawing should show the point of commencement (POC) as described in the legal description (west ¼ corner of Section 16).
8. Volume and page references should be included for the adjacent platted subdivisions of Lincoln Woods Plat Eleven and Victoria Cross.
9. The 5<sup>th</sup> paragraph in the legal description describes passing through a monument set at 50.17' be the drawing shows this point as a found concrete monument. Confirm if this monument is existing or to be set.



# City Of Sylvania

DEPARTMENT OF PUBLIC SERVICE

TIMOTHY S. BURNS, ZONING ADMINISTRATOR

February 29, 2016

Project: Woodland Hills

Purpose: Zoning review

Prepared By: Timothy S. Burns, Zoning Administrator

### Zoning District: R-3 – PD (Requested)

**As an overall review of the proposed development plan and requested zoning change, it is recommended to maintain the R-1 Zoning classification with a PD dedication. Base on the proposal, it is not necessary to obtain the R-3 Classification and is not fitting to the Master Plan of the City.**

### 1107.02 R-1 Minimum Requirements

(a)	Lot Area	10,000 Square Feet
(b)	Lot Width	70 feet
(c)	Front Yard	25 feet
(d)	Side Yards	7 feet
(e)	Rear Yard	30 feet
(f)	Ground Floor Area	960 Square Feet
(g)	Total Floor Area	1,200 Square Feet

#### Comments:

- The proposed lot 22(Units 1 – 26) in the South section of the proposal do not meet the required front yard minimum.
- Density in R-1 is based on lot square footage. PD allows for up to 1.5 times the minimum required lot density (Section 1155.04).
- The proposed development does not meet the minimum required elements above. The purpose of a Planned Development (PD) is Flexible in relation to new development ideas which may not meet the general purpose of the Zoning Code; this review is specific to the R-1 section of the Sylvania Codified Ordinance. Thru the PD adjusted minimums can be met.

**1161.02 FRONT YARDS.**

(a) Corner Lots. Where front yards have been established or may be required on each of two intersecting streets, there shall be a front yard on each street side of a corner lot, with the following two exceptions:

(1) In R Districts, where established front yards exceed twenty-five feet, only one front yard in excess of twenty-five feet shall be required.

(2) The building width of a lot of record need not be reduced to less than twenty-eight feet when the owner of such lot can show that ownership and control of any adjacent lot or lots of record are by another person.

**Comments:**

- The proposed lots 8 & 14 in the North section of plat proposal do not meet the minimum yard requirements
- The proposed lot 24 (unit 11 & 16) in the South section of plat proposal does not meet the minimum yard

**Final Comments:** It is my recommendation that the plat be redrawn to accomplish the following:

- Treat the request as an R-1 PD
- Meet minimum setback requirements on corner lots

**Timothy S Burns**

**Zoning Administrator**

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**Comments:**

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**Zoning Administrator**

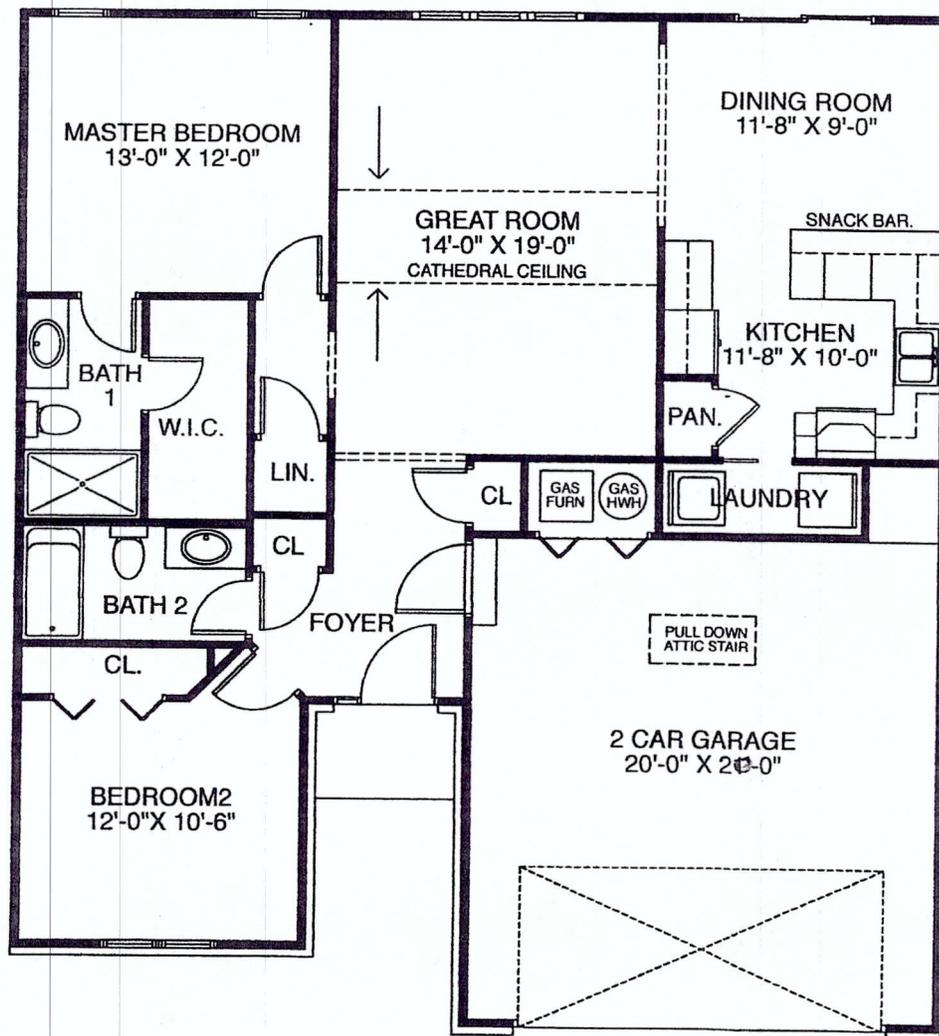


# EdgeBrook Villas

2 BEDROOM 2 BATH

1189 S.F. – TOTAL LIVING AREA

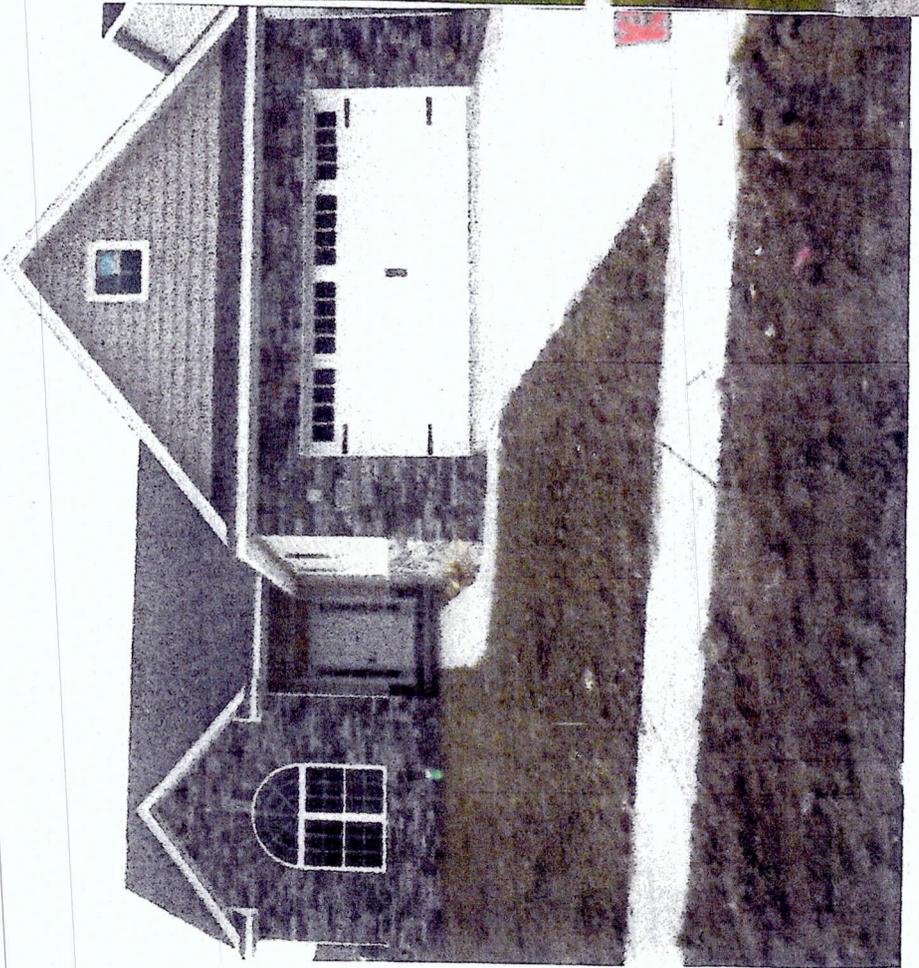
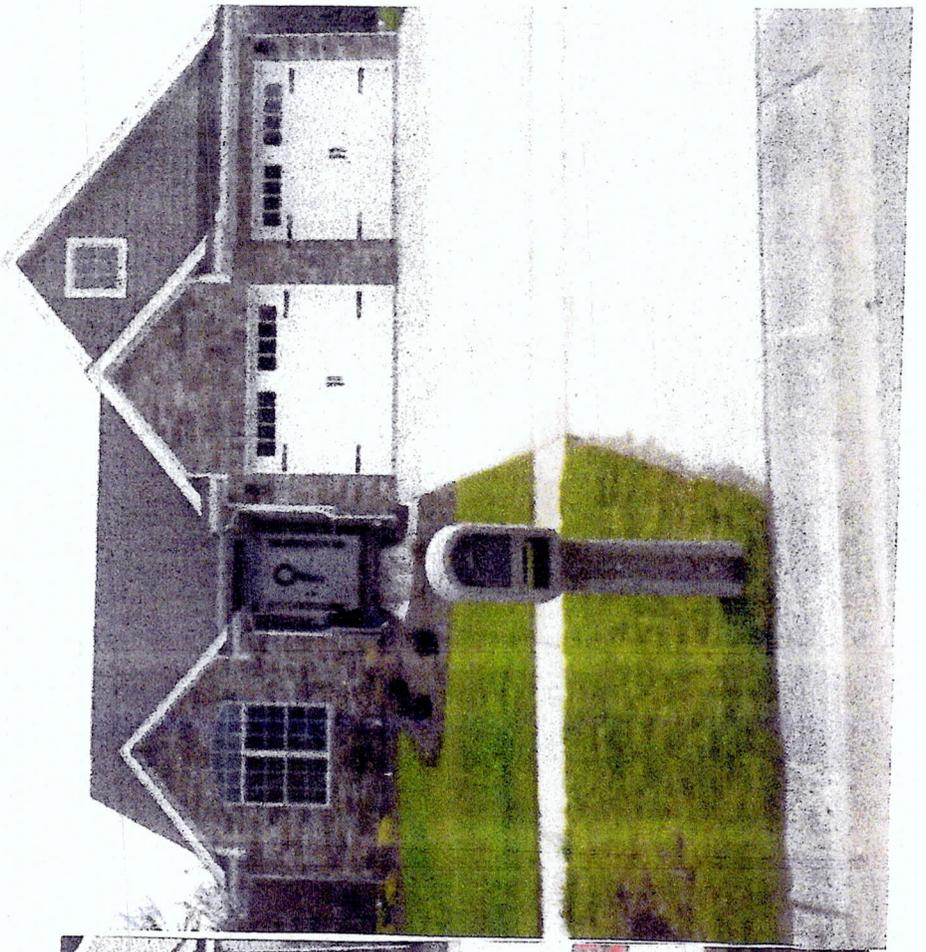
444 S.F. – GARAGE



*Edgebrook Villas*

Contact Info:

Note: Artist's renderings and floor plans on brochures are shown to present general and architectural concepts only. Standard or optional features may not be shown. Construction will be done to normal construction standards and tolerance. Room sizes shown are approximate. Brand names and specifications subject to change.







7a



# City Of Sylvania

DEPARTMENT OF PUBLIC SERVICE

KEVIN G. ALLER, PE DIRECTOR

April 18, 2015

To: The Mayor and Members of Sylvania City Council

Re: **King Road Widening & Resurfacing Project**  
**Utility and Temporary Construction Easements (15S, 14T & 15T)**  
**Toledo-Lucas County Public Library**

Dear Mr. Mayor and Council Members:

This project consists of widening the east side of King Road at Sylvania Avenue to accommodate new right turn drop lanes for vehicles and bicycles. In addition King Road is to be resurfaced from Sylvania Avenue to 250' south of Sylvan Towne Drive/Cougar Lane. City Council recently awarded construction of the project to Gerken Paving on April 4, 2016 by Ordinance 19-2016.

In order to accommodate this improvement it is necessary to acquire a utility easement and two temporary construction easements from the property owner, Toledo-Lucas County Public Library (TLCPL). These easements are documented as project parcels 15S for the utility easement and 14T and 15T for the temporary easements. The utility easement is for storm sewer purposes and the temporary easements for earthwork and grading.

The City and TLCPL have successfully reached an agreement with respect to these easements. TLCPL approved the easements at their Board meeting on March 24, 2016.

We request approval of the attached easements with the Toledo-Lucas County Public Library.

Sincerely,

Kevin G. Aller, P.E.  
Director of Public Service

## SEWER EASEMENT

KNOW ALL MEN BY THESE PRESENTS:

That **Toledo Lucas County Public Library**, the Grantor, in consideration of one dollar (\$1.00), and other good and valuable considerations, to them paid by the **City of Sylvania**, the Grantee, do hereby grant, bargain, sell, convey and release to the said Grantee, its successors and assigns forever, an easement for the construction and maintenance of a public sewer, in, on, over and through the real estate in the City of Sylvania, Lucas County, Ohio, and legally described, Exhibit A, and drawn, Exhibit B as attached.

TO HAVE AND TO HOLD the said easement rights with all the rights, privileges and appurtenances thereto belonging to the Grantee, its successors and assigns forever.

Grantee will install and maintain its facilities in such a manner as to not unreasonably interrupt Grantor's normal operations. Grantee will repair any and all damage that it causes to as good or better condition than existed immediately prior to the time of any damage, repair and/or maintenance.

The Grantor, their successors and assigns, retains the right to use the attached described property for any and all purposes, provided that such use does not interfere with nor impair the exercise of the rights herein granted.

The Grantor claims title by instrument recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office.

The Grantor hereby covenant that they are the true and lawful Owners of said premises and are well seized of the same, and have good right and full power to bargain, sell and convey the same in the manner aforesaid.

IN WITNESS WHEREOF, the Grantor, **Toledo Lucas County Public Library,**

has hereunto set their hands this 28 day of March, 2016.

Clyde Scoles  
Clyde Scoles, Library Director

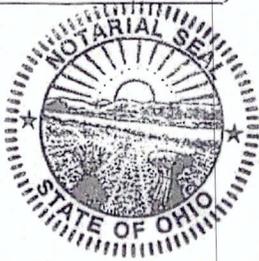
STATE OF OHIO

}SS

COUNTY OF LUCAS,

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of

March, 2016 by Clyde Scoles.



DANA ALLEE  
NOTARY PUBLIC - OHIO  
MY COMMISSION EXPIRES 05-01-2018

Dana Allee

Notary Public, \_\_\_\_\_ State of Ohio

My Commission Expires: 5/1/2018

IN WITNESS WHEREOF, the said Grantee, **City of Sylvania, Ohio** has hereunto set

their hands this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**City of Sylvania, Ohio**

By: \_\_\_\_\_  
Craig A. Stough, Mayor

By: \_\_\_\_\_  
Toby Schroyer, Director of Finance

Approved:

\_\_\_\_\_  
Leslie B. Brining, Director of Law

## EXHIBIT A

### PARCEL 15-S

#### PERPETUAL EASEMENT TO CONSTRUCT AND MAINTAIN A SEWER IN THE NAME AND FOR THE USE OF THE CITY OF SYLVANIA, OHIO

Situated in the State of Ohio, County of Lucas, City of Sylvania, Northwest Quarter of Section 21, Town 9 South, Range 6 East, being part of a 0.703 acre tract of land conveyed to Toledo Lucas County Public Library, by deed recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office and being more particularly described as follows:

Commencing at a ½" bar in a monument box found at the northwest corner of Section 21, said ½" bar in a monument box found also being at the intersection of the centerline of right-of-way of Sylvania Avenue and King Road, said ½" bar in a monument box found also being at station 20+00 in the construction plans for the King Road Right Turn Lane & Resurfacing Project on file with the City of Sylvania;

Thence South 00°40'19" East a distance of 331.07' on the centerline of right-of-way of King Road and the west line of Section 21 to a point on the south property line of said parcel of land conveyed to Toledo Lucas County Public Library by deed recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office, said point also being at station 16+68.93;

Thence North 84°44'03" East a distance of 54.17' on the south property line to a point on the proposed east right-of-way line of King Road, said point also being 54.00' right of station 16+73.27;

Thence North 00°40'19" West a distance of 150.92' on the proposed east right-of-way line of King Road to a point, said point also being 54.00' right of station 18+24.19 and being the **TRUE POINT OF BEGINNING**;

Thence continuing North 00°40'19" West a distance of 14.93' on the proposed east right-of-way line of King Road to a point, said point also being 54.00' right of station 18+39.12;

Thence South 42°42'28" East a distance of 16.43' to a point, said point also being 65.00' right of station 18+26.92;

Thence South 00°40'19" East a distance of 14.93' to a point, said point also being 65.00' right of station 18+11.99;

Thence North 42°42'28" West a distance of 16.43' to the **TRUE POINT OF BEGINNING**.

The above described area contains 0.004 acres, more or less, subject to all legal highways and easements of record.

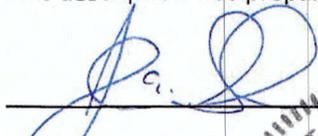
Grantor claims title by instrument recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office.

The above described area is contained within Lucas County Auditor's tax district parcel number 82-93917.

Bearings used herein are based on an assumed meridian and are for the express purpose of showing angular measurement.

This description was based on a field survey conducted by Engineers, Surveyors & Associates, LLC in July 2015 under the direction and supervision of Gregory L. Boudouris, Registered Surveyor 8083 of the State of Ohio.

This description was prepared by Joseph E. Shaw, Registered Surveyor 8491 of the State of Ohio.

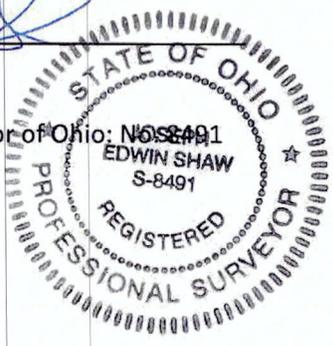


3/23/16

Joseph E. Shaw

Date

Registered Surveyor of Ohio: No. S-8491





## TEMPORARY EASEMENT FOR CONSTRUCTION PURPOSES

KNOW ALL MEN BY THESE PRESENTS:

That **Toledo Lucas County Public Library**, the Grantor, in consideration of one dollar (\$1.00), and other good and valuable considerations, to them paid by the **City of Sylvania**, the Grantee, do hereby grant a temporary easement for a period of twelve (12) months to the said Grantee, its duly authorized agents or contractors, the proprietary right to enter, move material and operate the equipment essential to the construction of the King Road Right Turn Lane & Resurfacing Project, in, on, over and through the real estate in the City of Sylvania, Lucas County, Ohio, and legally described, Exhibit A, and drawn, Exhibit B as attached.

TO HAVE AND TO HOLD the same to said Grantee, its duly authorized agents or contractors, the proprietary right to enter upon and use the land above described, during the period beginning with the breaking of ground for the construction on the referenced improvement project and terminating when the completed work has been fully accepted by the City of Sylvania, or twelve (12) months from the date of entry on the subject easement area, whichever occurs first.

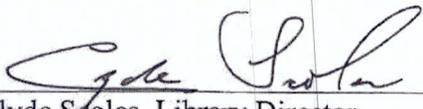
1. The easement granted herein and the agreements contained herein shall be easements and covenants that are personal to only the parties hereto and shall not run with the land.
2. The easement herein granted to the Grantor is made subject to all existing covenants, conditions, restrictions, encumbrances, and easements of record.
3. Grantor hereby reserves for itself, its successors and assigns, the unrestricted right to use the easement area identified herein for any purpose as needed.

4. During construction, the said Grantee shall furnish reasonable access across the easement when such easement divides the property or the Grantor from the public highway providing access thereto.
5. Grantee covenants that the easement area shall be restored to a condition similar to what exists prior to the commencement of construction, subject only to the project construction plans.
6. Grantee agrees to defend and hold Grantor harmless from any and all liability for construction work performed as identified herein, subject to the provisions of Ohio Revised Code Chapter 2744.

The Grantor claims title by instrument recorded in Instrument Number 201401140001207 in the Deed Records of the Lucas County Recorder's Office.

The Grantor hereby covenant that they are the true and lawful Owners of said premises and are well seized of the same, and have good right and full power to bargain, sell and convey the same in the manner aforesaid.

IN WITNESS WHEREOF, the Grantor, **Toledo Lucas County Public Library**,  
has hereunto set their hands this 28 day of March, 2016.

  
\_\_\_\_\_  
Clyde Scoles, Library Director

STATE OF OHIO

}SS

COUNTY OF LUCAS,

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of

March, 2016 by Clyde Scoles.



Dana Allee

DANA ALLEE  
NOTARY PUBLIC - OHIO  
MY COMMISSION EXPIRES 05-01-2018

Notary Public, \_\_\_\_\_ State of Ohio

My Commission Expires: 5/1/2018

IN WITNESS WHEREOF, the said Grantee, **City of Sylvania, Ohio** has hereunto set

their hands this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**City of Sylvania, Ohio**

By: \_\_\_\_\_  
Craig. A. Stough, Mayor

By: \_\_\_\_\_  
Toby Schroyer, Director of Finance

Approved:

\_\_\_\_\_  
Leslie B. Brining, Director of Law

## EXHIBIT A

### PARCEL 14-T

#### TEMPORARY EASEMENT FOR THE PURPOSE OF PERFORMING THE WORK NECESSARY TO INSTALL STORM SEWER AND GRADE THE AREA FOR 12 MONTHS FROM DATE OF ENTRY BY THE CITY OF SYLVANIA, OHIO

Situated in the State of Ohio, County of Lucas, City of Sylvania, Northwest Quarter of Section 21, Town 9 South, Range 6 East, being part of a 0.346 acre tract of land conveyed to Toledo Lucas County Public Library, by deed recorded in Instrument Number 201401140001207 in the Deed Records of the Lucas County Recorder's Office and being more particularly described as follows:

Commencing at a ½" bar in a monument box found at the northwest corner of Section 21, said ½" bar in a monument box found also being at the intersection of the centerline of right-of-way of Sylvania Avenue and King Road, said ½" bar in a monument box found also being at station 20+00 in the construction plans for the King Road Right Turn Lane & Resurfacing Project on file with the City of Sylvania;

Thence South 00°40'19" East a distance of 331.07' on the centerline of right-of-way of King Road and the west line of Section 21 to a point on the north property line of said parcel of land conveyed to Toledo Lucas County Public Library by deed recorded in Instrument Number 201401140001207 in the Deed Records of the Lucas County Recorder's Office, said point also being at station 16+68.93;

Thence North 84°44'03" East a distance of 54.17' on the north property line to a point on the proposed east right-of-way line of King Road, said point also being 54.00' right of station 16+73.27 and being the **TRUE POINT OF BEGINNING**;

Thence continuing North 84°44'03" East a distance of 12.04' on the north property line to a point, said point also being 66.00' right of station 16+74.23;

Thence South 00°40'19" East a distance of 57.05' to a point on the south property line of said parcel of land conveyed to Toledo Lucas County Public Library by deed recorded in Instrument Number 201401140001207 in the Deed Records of the Lucas County Recorder's Office, said point also being 66.00' right of station 16+17.18;

Thence South 84°44'03" West a distance of 12.04' on the south property line to a point on the proposed east right-of-way line of King Road, said point also being 54.00' right of station 16+16.22;

Thence North 00°40'19" West a distance of 57.05' on the proposed east right-of-way line of King Road to the **TRUE POINT OF BEGINNING**.

The above described area contains 0.016 acres, more or less, subject to all legal highways and easements of record.

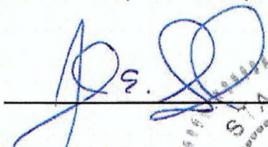
Grantor claims title by instrument recorded in Instrument Number 201401140001207 in the Deed Records of the Lucas County Recorder's Office.

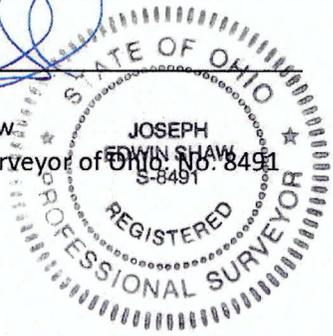
The above described area is contained within Lucas County Auditor's tax district parcel number 82-93920.

Bearings used herein are based on an assumed meridian and are for the express purpose of showing angular measurement.

This description was based on a field survey conducted by Engineers, Surveyors & Associates, LLC in July 2015 under the direction and supervision of Gregory L. Boudouris, Registered Surveyor 8083 of the State of Ohio.

This description was prepared by Joseph E. Shaw, Registered Surveyor 8491 of the State of Ohio.

  
\_\_\_\_\_  
Joseph E. Shaw  
Registered Surveyor of Ohio No. 8491



3/23/16  
\_\_\_\_\_  
Date



## TEMPORARY EASEMENT FOR CONSTRUCTION PURPOSES

KNOW ALL MEN BY THESE PRESENTS:

That **Toledo Lucas County Public Library**, the Grantor, in consideration of one dollar (\$1.00), and other good and valuable considerations, to them paid by the **City of Sylvania**, the Grantee, do hereby grant a temporary easement for a period of twelve (12) months to the said Grantee, its duly authorized agents or contractors, the proprietary right to enter, move material and operate the equipment essential to the construction of the King Road Right Turn Lane & Resurfacing Project, in, on, over and through the real estate in the City of Sylvania, Lucas County, Ohio, and legally described, Exhibit A, and drawn, Exhibit B as attached.

TO HAVE AND TO HOLD the same to said Grantee, its duly authorized agents or contractors, the proprietary right to enter upon and use the land above described, during the period beginning with the breaking of ground for the construction on the referenced improvement project and terminating when the completed work has been fully accepted by the City of Sylvania, or twelve (12) months from the date of entry on the subject easement area, whichever occurs first.

1. The easement granted herein and the agreements contained herein shall be easements and covenants that are personal to only the parties hereto and shall not run with the land.
2. The easement herein granted to the Grantor is made subject to all existing covenants, conditions, restrictions, encumbrances, and easements of record.
3. Grantor hereby reserves for itself, its successors and assigns, the unrestricted right to use the easement area identified herein for any purpose as needed.

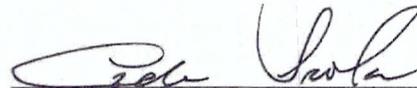
4. During construction, the said Grantee shall furnish reasonable access across the easement when such easement divides the property or the Grantor from the public highway providing access thereto.
5. Grantee covenants that the easement area shall be restored to a condition similar to what exists prior to the commencement of construction, subject only to the project construction plans.
6. Grantee agrees to defend and hold Grantor harmless from any and all liability for construction work performed as identified herein, subject to the provisions of Ohio Revised Code Chapter 2744.

The Grantor claims title by instrument recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office.

The Grantor hereby covenant that they are the true and lawful Owners of said premises and are well seized of the same, and have good right and full power to bargain, sell and convey the same in the manner aforesaid.

IN WITNESS WHEREOF, the Grantor, **Toledo Lucas County Public Library**,

has hereunto set their hands this 28 day of March, 2016.

  
\_\_\_\_\_  
Clyde Scoles, Library Director

STATE OF OHIO

}SS

COUNTY OF LUCAS,

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of

March, 2016 by Clyde Scoles.



DANA ALLEE  
NOTARY PUBLIC - OHIO  
MY COMMISSION EXPIRES 05-01-2018

*Dana Allee*

Notary Public, \_\_\_\_\_ State of Ohio

My Commission Expires: 5/1/2018

IN WITNESS WHEREOF, the said Grantee, **City of Sylvania, Ohio** has hereunto set their hands this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**City of Sylvania, Ohio**

By: \_\_\_\_\_  
Craig. A. Stough, Mayor

By: \_\_\_\_\_  
Toby Schroyer, Director of Finance

Approved:

\_\_\_\_\_  
Leslie B. Brining, Director of Law

## EXHIBIT A

### PARCEL 15-T

#### TEMPORARY EASEMENT FOR THE PURPOSE OF PERFORMING THE WORK NECESSARY TO INSTALL STORM SEWER AND GRADE THE AREA FOR 12 MONTHS FROM DATE OF ENTRY BY THE CITY OF SYLVANIA, OHIO

Situated in the State of Ohio, County of Lucas, City of Sylvania, Northwest Quarter of Section 21, Town 9 South, Range 6 East, being part of a 0.703 acre tract of land conveyed to Toledo Lucas County Public Library, by deed recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office and being more particularly described as follows:

Commencing at a ½" bar in a monument box found at the northwest corner of Section 21, said ½" bar in a monument box found also being at the intersection of the centerline of right-of-way of Sylvania Avenue and King Road, said ½" bar in a monument box found also being at station 20+00 in the construction plans for the King Road Right Turn Lane & Resurfacing Project on file with the City of Sylvania;

Thence South 00°40'19" East a distance of 331.07' on the centerline of right-of-way of King Road and the west line of Section 21 to a point on the south property line of said parcel of land conveyed to Toledo Lucas County Public Library by deed recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office, said point also being at station 16+68.93;

Thence North 84°44'03" East a distance of 54.17' on the south property line to a point on the proposed east right-of-way line of King Road, said point also being 54.00' right of station 16+73.27 and being the **TRUE POINT OF BEGINNING**;

Thence North 00°40'19" West a distance of 150.92' on the proposed east right-of-way line of King Road to a point, said point also being 54.00' right of station 18+24.19;

Thence South 42°42'28" East a distance of 16.43' to a point, said point also being 65.00' right of station 18+11.99;

Thence North 00°40'19" West a distance of 14.93' to a point, said point also being 65.00' right of station 18+26.92;

Thence North 42°42'28" West a distance of 16.43' to a point on the proposed east right-of-way line of King Road, said point also being 54.00' right of station 18+39.12;

Thence North 00°40'19" West a distance of 88.88' on the proposed east right-of-way line of King Road to a point, said point also being 54.00' right of station 19+28.00;

Thence North 41°44'25" East a distance of 14.83' on the proposed east right-of-way line of King Road to a point, said point also being 64.00' right of station 19+38.95;

Thence South 00°40'19" East a distance of 93.95' to a point, said point also being 64.00' right of station 18+45.00;

Thence North 89°19'41" East a distance of 8.00' to a point, said point also being 72.00' right of station 18+45.00;

Thence South 00°40'19" East a distance of 170.28' to a point on the south property line of said parcel of land conveyed to Toledo Lucas County Public Library by deed recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office, said point also being 72.00' right of station 16+74.72;

Thence South 84°44'03" West a distance of 18.06' on the south property line to the **TRUE POINT OF BEGINNING**.

The above described area contains 0.087 acres, more or less, subject to all legal highways and easements of record.

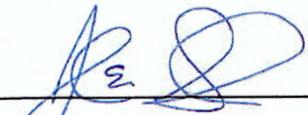
Grantor claims title by instrument recorded in Instrument Number 201312200065022 in the Deed Records of the Lucas County Recorder's Office.

The above described area is contained within Lucas County Auditor's tax district parcel number 82-93917.

Bearings used herein are based on an assumed meridian and are for the express purpose of showing angular measurement.

This description was based on a field survey conducted by Engineers, Surveyors & Associates, LLC in July 2015 under the direction and supervision of Gregory L. Boudouris, Registered Surveyor 8083 of the State of Ohio.

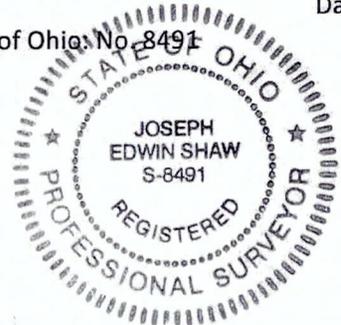
This description was prepared by Joseph E. Shaw, Registered Surveyor 8491 of the State of Ohio.

  
\_\_\_\_\_

3/23/16  
\_\_\_\_\_

Joseph E. Shaw  
Registered Surveyor of Ohio No. 8491

Date





7b

**ORDINANCE NO. 22 -2016**

**ACCEPTING AN EASEMENT FROM THE TOLEDO LUCAS COUNTY PUBLIC LIBRARY FOR THE PURPOSE OF THE CONSTRUCTION AND MAINTENANCE OF A PUBLIC SEWER; AND DECLARING AN EMERGENCY.**

WHEREAS, the City of Sylvania desires to construct, install and maintain a public sewer in, over and through a portion of the Toledo Lucas County Public Library's property located at King Rd. and Sylvania Ave., Sylvania, Ohio; and,

WHEREAS, the Director of Law has obtained the necessary easement from the Toledo Lucas County Public Library, which easement has been executed and tendered to the City of Sylvania and a copy of said easement in the form and substance of "Exhibit A" is attached hereto and made a part hereof.

NOW, THEREFORE BE IT ORDAINED by the Council of the City of Sylvania, Lucas County, Ohio, \_\_\_\_\_ members elected thereto concurring:

SECTION 1. That the easement as to executed and tendered as described on "Exhibit A" be, and the same hereby is, accepted from the Toledo Lucas County Public Library, the grantor therein.

SECTION 2. That the easement area identified and described in said easement as set forth on "Exhibit A" be, and the same hereby is, dedicated for the respective public purposes expresses in said easement.

SECTION 3. That the Director of Law is hereby directed to deliver the recorded easement document to the Director of Finance for retention by him as custodian of the records of this City.

SECTION 4. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 5. That the Clerk of Council is hereby directed to post a copy of this Ordinance in the Office of the Clerk of Council in the Municipal Building pursuant to ARTICLE III, Section 12, of the Charter of this City.

SECTION 6. That this Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety, property and welfare and for the further reason that the widening and resurfacing of King Road should proceed without further delay. Provided this Ordinance receives the affirmative vote of five (5) or more members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, it shall take effect and be in force thirty (30) days after it is approved by the Mayor or as otherwise provided by the Charter.

Vote dispensing with the second and third readings:            Yeas \_\_\_\_\_ Nays \_\_\_\_\_

Passed, \_\_\_\_\_, 2016, as an emergency measure.

\_\_\_\_\_  
President of Council

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Clerk of Council

\_\_\_\_\_  
Director of Law

APPROVED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

Ja.



# City Of Sylvania

DEPARTMENT OF PUBLIC SERVICE

KEVIN G. ALLER, PE DIRECTOR

April 8, 2016

To: The Mayor and Members of Sylvania City Council

Re: **Dump Truck Purchase**

Dear Mr. Mayor and Council Members:

We are requesting approval to purchase a new dump truck body and snow plow package per the attached quote. This truck will be placed into service in our streets department. This equipment will be placed on the dump truck chassis previously approved via Ordinance 15-2016.

This purchase was included in the 2016 capital improvement plan. We believe this to be a needed replacement and recommend the dump truck body and snow plow package from Henderson Truck Equipment-Ohio at a cost of \$63,897.00.

Please call if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Kevin G. Aller".

Kevin G. Aller, P.E.

Director of Public Service

KGA/dsw



3-7-2016

CITY OF SYLVANIA

VEHICLE MAINTENANCE MANAGER-JASON MUSIC

5509 HARROUN ROAD

SYLVANIA, OHIO 43560

**REF: SNOW PLOW PACKAGE**

**DUMP BODY**

- HENDERSON MODEL TUB BODY 10' STAINLESS STEEL DUMP BODY
- (2) 65 GALLON POLY TANKS MOUNTED TO EACH SIDE OF BODY
- (2) 2-1/2" STAINLESS STEEL WALK RAIL
- STAINLESS STEEL FRONT STEP I FRONT OF BODY
- CROSSMEMBERLESS-UNIBODY DESIGN/7 GAUGE MATERIAL
- 2B STAINLESS STEEL
- SLOPED LOWER DIRT SHEDDING RUB RAIL.
- 10' LONG
- 7' WIDTH
- 30" SIDES
- 38 " AIR TAILGATE WITH NO COAL DOOR
- ¼" AR400 STEEL FLOOR 200,000 PSI
- SLOPED BOX TOP RAIL
- 8" REAR APRON
- FULL DEPTH REAR CORNER POST
- 4" SIDE TO FLOOR RADIUS
- ONE PIECE FRONT CORNER POST
- 22" X 86" CAB SHIELD FULLY WELDED
- ALL LED FMVSS # 108 MARKER LIGHTS
- INSTALLED AND NOT PAINTED

**HOIST**

- HENDERSON MODEL CS FRONT TELESCOPIC MAILHOT HOIST
- FULL POWER UP AND DOWN
- 29 TON CAPACITY
- 12" DOGHOUSE IN SIDE OF BODY
- 12" MOUNTING HEIGHT-12" LONGSILL
- FULL DOUBLE ACTING HOIST
- GREASEABLE REAR PINS
- INSTALLED
- BODY AND HOIST INSTALLED 100% TO YOUR SPECIFICATIONS-NO EXCEPTIONS

## **SNOW PLOW**

- HENDERSON MODEL RSP- 11' X 42" SNOW PLOW
- TRIP EDGE SNOW PLOW
- STAINLESS STEEL MOLDBOARD WITH RIGHT SIDE CUT
- HERCULES DRIVE FRAME
- (8) POINT HOOK UP TO MOLDBOARD
- RUBBER HENDERSON SNOW SHIELD
- INTERGRAL SHIELD
- ADJUSTABLE TRIP SPRINGS WITH GUARDS
- HENDERSON LEVEL LIFT SYSTEM
- MUSHROOM SHOES
- HENDERSON QCC PLOW PORTION
- BACK OF MOLDBOARD MATT BLACK
- INSTALLED 100% TO YOUR SPECIFICATIONS-NO EXCEPTIONS

## **SNOW PLOW HITCH**

- HENDERSON MODEL HFF-LP – QCC FRONT FRAME SNOW PLOW HITCH
- HENDERSON MODEL 2-1/2" DROP PIN QUICK HITCH
- HENDERSON FULL 5/8" STEEL SIDE PLATES
- OEM BUMPERS PAINTED BLACK
- 4" DOUBLE ACTING LIFT CYLINDER
- SANDBLASTED AND PRIMED
- PAINTED AND INSTALLED
- SNOW PLOW HITCH INSTALLED 100% TO YOUR SPECIFICATIONS-NO EXCEPTIONS

## **ELECTRICAL SYSTEM**

- WHELEN/STAR LED SYSTEM
- (2) AMBER/GREEN LIGHTS MOUNTED IN STAINLESS STEEL BOXES TO CAB SHIELD
- (2) AMBER/GREEN LIGHTS MOUNTED IN REAR POST
- (2) LED STOP/TAIL/TURN LIGHTS IN REAR POST
- (2) BACK UP LIGHTS MOUNTED IN REAR POST
  - (2) 4" LED SPINNER LIGHT
- BUYERS MODEL SK-12 BODY UP LIGHT
- WHELEN BACK UP ALARM MOUNTED TO STAINLESS PLATE
- HENDERSON PDP POWER DISTRIBUTION CENTER
- SNOW PLOW LIGHTS WITH STAINLESS STEEL BRACKETS
- ALL ONE PIECE WIRING WITH COPY OF WIRING SCHEMATIC

## **CENTRIAL HYDRAULIC SYSTEM**

- CERTIFIELD POWER-STORMGUARD/LOAD SENSING SYSTEM
- DANFOSS TRANSMISSION MOUNTED PUMP
- CHELSEA MODEL 890 WET SPLINE
  - DANFOSS MODEL PVG CONTROL VALVE
  - CONTROL VALVE TO RUN BODY/SNOW PLOW/SPREADER
- STORMGUARD CUSTOM STAND MODEL MULTIGUARD BASE
- HENDERSON STEEL FLOOR PLATE
- STORMGUARD MODEL FREEDOM MODEL 2.2 SPREADER CONTROL SYSTEM
- HENDERSON 35-GALLON STAINLESS STEEL OIL RESERVOIR

- ALL WEATHERHEAD"RHINO-GUARD" HOSES AND FITTING WITH STAINLESS STEEL QUICK COUPLERS
- ALL PRESSURE HOSES SAE 100R2
- ALL FITTING JIC STYLE
- MID-STATE STAINLESS STEEL REAR TUBES FOR SPREADER
- MID-STATE STAINLESS STEEL FRONT TUBES
- ALL SWITCHES MOUNTED IN STAND
- INSTALLED 100% TO YOUR SPECIFICATIONS-NO EXCEPTIONS

### **SPREADER**

- MODEL TGS-DD 304 STAINLESS STEEL SPREADER W/OLD DOOR
- 6" AUGER WITH DIRECT DRIVE EXTREME LEFT DROP
- POLY SPINNER
- PRE WET AT SPINNER
- ALL 304 STAINLESS STEEL MOUNTING HARDWARE
- REAR SHORT HOSE KIT WITH STAINLESS STEEL QUICK COUPLERS
- INSTALLED 100% TO YOUR SPECIFICATIONS-NO EXCEPTIONS

### **MISCELLANEOU**

- 4" CROME EXHAUST ELBOW
- ROLL RITE ELE TARP SYSTEM
- BUYERS STAINLESS STEEL TOOL BOX
- VIBCO BODY VIBRATOR WITH MOUNT KIT
- WOOD SIDE BOARDS PAINTED BLACK
- 5/8" FULL REAR HITCH PLATE
- D-RINGS AND 2" REESE RECEIVER
- 6 WAY PLUG
- FLEET ENG. POLY FENDERS WITH STAINLESS STEEL BRACKETS
- HENDERSON FULL REAR MUD FLAPS
- HENDERSON RED & WHITE REFLECTIVE TAPE BOTH SIDES AND TAILGATE

2 YEAR FULL WARRANTY ON ALL EQUIPMENT

ALL MOUNTING 100% TO YOUR CITY PERSONAL SPECIFICATIONS NO EXCEPTIONS

PREDELIVERY INSPECTION @ YOUR FACILITY PRIOR TO PAINT

WARRANTY WORK AND SEVICE WORK HENDERSON TRUCK EQUIPMENT WILL PICK UP

THE VEHICLE AND MAKE NECESSARY REPAIRS AND RETURN IN A TIMELY MANNER

**NJPA- 080114-HP1 PRICING NET PRICE INSTALLED \$ 63.897.00**

**OPTION 1: 10' HENDERSON STANDARD DUMP BODY WITH 140 GALLON PRE WET SYSTEM ON TAILGATE LESS- \$ 1365.00 NET**

HENDERSON PRODUCTS-OHIO

**BRIAN BEURY**

REGIONAL SALES MANAGER

**HENDERSON TRUCK EQUIPMENT - OH**

BUCYRUS, OH • PH: 440-822-0032 • FAX: 563-927-7007 • [www.henderson-mfg.com](http://www.henderson-mfg.com)

**ORDINANCE NO. 23 -2016**

**AUTHORIZING THE MAYOR AND DIRECTOR OF FINANCE TO ACCEPT THE PROPOSAL OF HENDERSON TRUCK EQUIPMENT - OHIO FOR THE PROVISION OF A NEW DUMP TRUCK BODY AND SNOW PLOW PACKAGE FOR THE DIVISION OF STREETS, DEPARTMENT OF PUBLIC SERVICE; APPROPRIATING \$63,897 THEREFORE; AND DECLARING AN EMERGENCY.**

WHEREAS, Ordinance No. 15-2016, passed March 7, 2016, authorized the Mayor and Director of Finance to accept the proposal of Cleveland Freightliner, Inc. for a new dump truck for the Streets Department and appropriated \$82,292 therefore; and,

WHEREAS, the Director of Public Service has received a proposal from Henderson Truck Equipment - Ohio for the purchase of one (1) new dump truck body and snow plow package at a total cost of \$63,897; and,

WHEREAS, the Director of Public Service, by report dated April 8, 2016, has recommended acceptance of the proposal of Henderson Truck Equipment - Ohio to purchase a new dump truck body and snow plow package for the Streets Division, Department of Public Service.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Sylvania, Lucas County, Ohio, \_\_\_\_\_ members elected thereto concurring:

SECTION 1. That the Mayor and the Director of Finance be, and they hereby are, authorized to sign the proposal of Henderson Truck Equipment - Ohio on behalf of this City, thereby indicating such approval and acceptance for the provision of a new dump truck body and snow plow package for the Division of Streets, Department of Public Service.

SECTION 2. That the Mayor and Director of Finance be, and hereby are, authorized and directed to sign any and all instruments and to do any and all things necessary to complete said purchase.

SECTION 3. That, upon receipt of delivery of said dump truck body and snow plow package by the City of Sylvania, the Director of Finance is hereby authorized to issue his warrant or warrants in payment therefore from the **CAPITAL IMPROVEMENT FUND** from funds therein not heretofore appropriated to **Account No. 401-7110-53401 – Vehicles**, the total sum of Sixty-Three Thousand Eight Hundred Ninety-Seven Dollars (\$63,897.00).

SECTION 4. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

SECTION 5. That the Clerk of Council is hereby directed to post a copy of this Ordinance in the Office of the Clerk of Council in the Municipal Building pursuant to ARTICLE III, Section 12, of the Charter of this City.

SECTION 6. That this Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety, property and welfare and for the further reason that proposal for said dump truck body and snow plow package should be approved immediately so that the purchase can be made at the earliest possible time. Provided this Ordinance receives the affirmative vote of five (5) or more members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, it shall take effect and be in force thirty (30) days after it is approved by the Mayor or as otherwise provided by the Charter.

Vote dispensing with the second and third readings:            Yeas \_\_\_\_\_ Nays \_\_\_\_\_

Passed, \_\_\_\_\_, 2016, as an emergency measure.

\_\_\_\_\_  
President of Council

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Clerk of Council

\_\_\_\_\_  
Director of Law

APPROVED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

9a.



# City Of Sylvania

DEPARTMENT OF PUBLIC SERVICE  
KEVIN G. ALLER, PE DIRECTOR

April 18, 2016

To: The Mayor and Members of Sylvania City Council

Re: **2016 Microsurfacing Project**

Dear Mr. Mayor and Council Members:

The City plans to provide pavement rehabilitation by Microsurfacing on approximately 2.4 miles of residential roadways as a part this year's pavement maintenance program. Microsurfacing consists of applying a polymer-modified asphalt emulsion based resurfacing material to the existing pavement surface. This application will provide a hard wearing surface on structurally sound pavements with the primary goal of extending pavement life by covering cracks, stop unraveling, reduce water infiltration and oxidation deterioration.

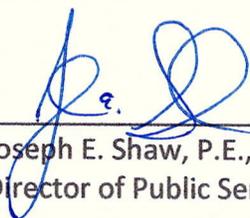
The following roadways have been field reviewed and found to be suitable for this application:

- Country Club Estates & Highland Terrace
  - Alexa Lane, Amy Lane, Grenlock Drive, Jeffrey Lane, Rockdale Lane & Wakefield Drive
- Trenton Place
  - Centerview Drive, Clearview Drive, Northview Drive & Westview Drive

Ohio Revised Code Section 5513.01 (B) allows political subdivisions to purchase machinery, materials, supplies or other articles from the Ohio Department of Transportation's Cooperative Purchasing Program. Strawser Construction, Inc. is available to perform the required Microsurfacing work under this program at a price not to exceed \$100,768.95.

We request approval to enter into an agreement with Strawser Construction, Inc. at a price not to exceed \$100,768.95 to perform this pavement rehabilitation work.

Sincerely,




---

Joseph E. Shaw, P.E., P.S.  
Director of Public Service

9b

**ORDINANCE NO. 24 -2016**

**ACCEPTING THE PROPOSAL OF STRAWSER CONSTRUCTION, INC. TO PROVIDE PAVEMENT REHABILITATION WORK FOR THE 2016 MICROSURFACING PROJECT; APPROPRIATING FUNDS THEREFORE IN THE AMOUNT OF \$100,768.95; AND DECLARING AN EMERGENCY.**

WHEREAS, the City plans to provide pavement rehabilitation by Microsurfacing on approximately 2.4 miles of residential roadways as a part of this year's pavement maintenance program; and,

WHEREAS, the residential roadways reviewed and identified as suitable for this application include Alexa Lane, Amy Lane, Grenlock Drive, Jeffrey Lane, Rockdale Lane, Wakefield Drive, Centerview Drive, Clearview Drive, Northview Drive and Westview Drive; and,

WHEREAS, Ohio Revised Code Section 5513.01(B) allows political subdivisions to participate in the Ohio Department of Transportation's Cooperative Purchasing Program; and,

WHEREAS, the Deputy Director of Public Service, in a report dated April 18, 2016, has recommended that the proposal of Strawser Construction, Inc. to provide pavement rehabilitation by Microsurfacing for the 2016 Microsurfacing Project at a cost of One Hundred Thousand Seven Hundred Sixty-Eight and 95/100 Dollars (\$100,768.95), be accepted.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Sylvania, Lucas County, Ohio, \_\_\_\_\_ members elected thereto concurring:

SECTION 1. That the proposal of Strawser Construction, Inc. in the amount One Hundred Thousand Seven Hundred Sixty-Eight and 95/100 Dollars (\$100,768.95) for providing pavement rehabilitation by Microsurfacing for the 2016 Microsurfacing Project, is hereby accepted.

SECTION 2. That the Director of Public Service shall promptly give notice to said consultant to proceed under the proposal hereby approved and accepted.

SECTION 3. That to provide funds for said microsurfacing hereby authorized, there is hereby appropriated from the **CAPITAL IMPROVEMENT FUND** from funds therein not heretofore appropriated to **Account No. 401-7610-53503 – Street Improvements** the amount of One Hundred Thousand Seven Hundred Sixty-Eight and 95/100 Dollars (\$100,768.95).

SECTION 4. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 5. That the Clerk of Council is hereby directed to post a copy of this Ordinance in the Office of the Clerk of Council in the Municipal Building pursuant to ARTICLE III, Section 12, of the Charter of this City.

SECTION 6. That this Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety, property and welfare and for the further reason that the City should provide for the pavement rehabilitation services for the 2016 Microsurfacing Project at the earliest possible time. Provided this Ordinance receives the affirmative vote of five (5) or more members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, it shall take effect and be in force thirty (30) days after it is approved by the Mayor or as otherwise provided by the Charter.

Vote dispensing with the second and third readings:           Yeas \_\_\_\_\_ Nays \_\_\_\_\_

Passed, \_\_\_\_\_, 2016, as an emergency measure.

\_\_\_\_\_  
President of Council

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Clerk of Council

\_\_\_\_\_  
Director of Law

APPROVED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

**RESOLUTION NO. 6 -2016**

**ADOPTING A POLICY FOR MOWING AND GROUNDS MAINTENANCE WITHIN STREET RIGHTS-OF-WAY POLICY; AND DECLARING AN EMERGENCY.**

WHEREAS, at the January 19, 2016, meeting of Sylvania City Council, the Chairman of the Streets Committee reported that at the January 19, 2016 meeting of the Streets Committee, a discussion was had on the maintenance of cul-de-sacs in the City; and,

WHEREAS, at the March 21, 2016 meeting of Sylvania City Council, a proposed City of Sylvania Mowing and Grounds Maintenance within Street Rights-of-Way Policy was presented and thereafter Council referred the proposed policy to the Streets Committee for its review and recommendation; and,

WHEREAS, the proposed policy was reviewed at the April 4, 2016 Streets Committee meeting and thereafter recommended its approval and adoption subject to two modifications; and,

WHEREAS, the Mowing and Grounds Maintenance within Street Rights-of-Way Policy is attached hereto as "Exhibit A."

NOW, THEREFORE, BE IT RESOLVED by the Council of the City of Sylvania, Lucas County, Ohio, \_\_\_\_\_ members elected thereto concurring:

SECTION 1. That the City of Sylvania Mowing and Grounds Maintenance Policy attached hereto as "Exhibit A" is hereby approved and adopted.

SECTION 2. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Resolution were adopted in an open meeting of this Council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements including Section 121.22 of the Ohio Revised Code.

SECTION 3. That the Clerk of Council is hereby directed to post a copy of this Resolution in the Office of the Clerk of Council in the Municipal Building pursuant to ARTICLE

III, Section 12, of the Charter of this City.

SECTION 4. That this Resolution is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety, property and welfare and for the further reason that the policy covering the mowing and grounds policy should be adopted immediately. Provided this Resolution receives the affirmative vote of five (5) or more members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, it shall take effect and be in force thirty (30) days after it is approved by the Mayor or as otherwise provided by the Charter.

Vote dispensing with the second and third readings:           Yeas \_\_\_\_\_ Nays \_\_\_\_\_

Passed, \_\_\_\_\_, 2016, as an emergency measure.

\_\_\_\_\_  
President of Council

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Clerk of Council

\_\_\_\_\_  
Director of Law

APPROVED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

## **MOWING AND GROUNDS MAINTENANCE WITHIN STREET RIGHTS-OF-WAY**

### **I. PURPOSE**

The purpose of this policy is to establish the responsibility for mowing and grounds maintenance of those areas within the City limits that are within street rights-of-way, that are behind the curb and gutter, that are within traffic or median islands and that are beyond the edge of pavement on street without curb and gutter.

### **II. COVERAGE**

This policy, upon adoption by the Sylvania City Council shall be applicable to the mowing and grounds maintenance by City forces, by individual property owners and by homeowners associations of areas within street rights-of-way in the City of Sylvania corporate limits, and shall remain in effect until such a time that it is altered, modified or rescinded by the City Council.

### **III. POLICY**

#### **A. Definitions**

1. Street Right-of-Way – the land area in which a paved or gravel street exists which has been dedicated to public use and which paved or gravel street has been accepted for maintenance by the City or by the Ohio Department of Transportation.
2. Mowing – The cutting of grass or other similar ground covering vegetative material for the purpose of creating a neat, clean and uniform appearance of that material.
3. Ground Maintenance – The raking of leaves and the removal of debris of any sort for the purpose of creating a neat and clean appearance.
4. Landscape Maintenance – The pruning, clipping, shaping of ornamental shrubs or trees; the daily, weekly or monthly weed removal, watering, fertilizing, mulching or other special detailed attention given to annual or perennial flowers, bedding plants, shrubs, trees or other vegetative material. This also includes the tasks outlined in grounds maintenance above.
5. Major Thoroughfare – A street which serves as a primary traffic artery of the urban area, serving the major centers of activity and carrying traffic between such centers at moderate speeds.
6. Collector Street – A street which penetrates various land use classifications and whose primary function is traffic service, collecting traffic from streets intersecting it and funneling it to major thoroughfares.
7. Residential Street – A street whose primary function is to serve the immediately abutting residential land use, i.e., only local traffic generated by the residents in proximity of the street.
8. Cul-de-sac – A street which serves abutting land uses and which terminates in a turnaround and originates at the intersection with another street.

## B. City Responsibilities

The City of Sylvania accepts responsibility for mowing and grounds maintenance only to those areas listed below:

1. Along major thoroughfares except in those areas that are regularly maintained by the Ohio Department of Transportation. The City may elect to maintain some of the ODOT maintained rights-of-way, if the City deems it in its best interest.
2. Traffic islands and median islands within the rights-of-way of major thoroughfares when such islands require only mowing and are not planted with shrubbery or other vegetation that require landscape maintenance and when such islands are not regularly maintained by ODOT or some other organization or group. The City may elect to maintain some of the ODOT maintained traffic islands or medians, if the City deems it in its best interest.
3. The City of Sylvania may mow and perform certain grounds maintenance on street rights-of-way below the classification of major thoroughfare, if the City deems it to be in its best interest.

The City of Sylvania accepts no responsibility for the mowing, grounds maintenance or landscape maintenance for any traffic island or any median island on any street below the classification of "major thoroughfare" which intersects a major thoroughfare.

## C. Property Owner Responsibilities

Within all parts of the City of Sylvania, individual property owners are responsible for mowing and grounds maintenance of all areas between their property lines and the edge of the street. These areas are to include from the edge of the pavement or from the back of the curb and gutter to the street right-of-way or the front, side or rear property line which is the same as the street right-of-way. The individual property owners shall also mow and otherwise perform grounds maintenance upon any utility strip or planting strip that lies between the edge of the pavement or the back of the curb and gutter and the street edge of any sidewalk that runs parallel with the street.

When the street right-of-way has been cleared to the property line, and that cleared street right-of-way area has been covered with grass or other similar ground cover, but the property fronting this street remains essentially undeveloped, whether that property is undisturbed woods, undisturbed former fields, or an area that has been graded, grassed and left fallow, the property owner has the responsibility to mow and perform grounds maintenance on the improved street right-of-way adjoining his property.

All traffic islands or median islands on all collector streets, residential streets, and cul-de-sacs in subdivisions, should be mowed and should have grounds maintenance performed by the homeowners association and/or adjoining property owners of the subdivision in which they are located.

## D. Responsibilities Within Planned Unit Developments

The individual property owners and the homeowners associations in all Planned Unit Developments (PUD) each have certain individual responsibilities and certain mutual responsibilities for mowing, grounds maintenance or landscape maintenance for all areas within the street rights-of-way.

Individual property owners are responsible for mowing and grounds maintenance of all areas between their property lines and the edge of the street. These areas include from the edge of the pavement or from the back of the curb and gutter to the street right-of-way or the front, side or rear property line that is contiguous with or the same as the street right-of-way. The individual property owners shall also mow and otherwise perform grounds maintenance upon any utility strip or planting strip that lies between the edge of the pavement or the back of the curb and gutter and the street edge of any sidewalk that runs parallel with the street.

The homeowners associations have the responsibility for mowing, grounds maintenance and landscape maintenance in all areas within their PUD that are within street rights-of-way that have been cleared and graded and covered with grass or other similar ground cover for erosion control purposes that are not maintained by individual property owners. Those areas include street right-of-way areas which adjoin common area property, open space property and undeveloped property whether that property is undisturbed woods, undisturbed former fields, or areas that have been graded, grassed and left fallow.

All traffic islands or median islands on all collector streets, residential streets, and cul-de-sacs, shall be mowed, shall have grounds maintenance, and shall have landscape maintenance performed by the homeowners association of the PUD in which they are located.

When a PUD makes landscaping improvements along major thoroughfares, either in that area between the back of the curb and gutter and the street right-of-way or between the edge of pavement and the street right-of-way or in traffic islands or median islands along the major thoroughfare, which require grounds maintenance or landscape maintenance daily, weekly or monthly, those landscaped areas shall be maintained by the homeowners association of the planned unit development which installed them.

11

**ORDINANCE NO. 56-2015**

**AMENDING THE CODIFIED ORDINANCES OF SYLVANIA, 1979,  
AS AMENDED, BY AMENDING CHAPTER 1187 –  
ARCHITECTURAL DISTRICTS; REPEALING CHAPTER 1152 –  
DESIGN REVIEW REGULATIONS; REPEALING CHAPTER 1150 –  
NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT;  
REPEALING CHAPTER 1151 – DOWNTOWN OVERLAY  
DISTRICT; AND DECLARING AN EMERGENCY.**

WHEREAS, Ordinance No. 65-2014, passed December 15, 2014, accepted the proposal of Poggemeyer Design Group to assist the City of Sylvania with the revision of its Zoning Code, Design Review Guidelines and updating its Zoning Map; and,

WHEREAS, since that time, representatives of Poggemeyer Design Group have met with the Directors of Law and Public Service as well as the City's Zoning Administrator to prepare the proposed revision to Chapter 1187 – Architectural Districts; and,

WHEREAS, the Zoning and Annexation Committee met on August 17, 2015 and thereafter recommended that Chapter 1187 – Architectural Districts be amended as set forth on the attached "Exhibit A;" and,

WHEREAS, at the September 10, 2015 meeting of Sylvania City Council, the proposed amendments to the Sylvania Codified Ordinances were referred to the Sylvania Municipal Plan Commission for its review and recommendation; and,

WHEREAS, the Municipal Planning Commission considered said Ordinance No. 56-2015 and the proposed amendments to the Sylvania Codified Ordinances on November 10, 2015, and by report dated November 12, 2015, recommended the approval of the amendments, which recommendation was as follows:

..."Mr. Arnold moved, Mr. McCann seconded to recommend to Council to approve Proposed Ordinance 56-2015, inclusive of the November 9, 2015 revisions and the addition of the changes made to Chapter 1150 of the zoning code. Vote being: McCann, Stough, Arnold and Lindsley (4) aye; (0) nay. Motion passed by a 4 to 0

vote.”

WHEREAS, the Zoning & Annexation Committee met on December 7, 2015 to consider the proposed amendments to Sylvania Codified Ordinances; and,

WHEREAS, a Public Hearing was held on January 19, 2016 to consider the proposed amendments; and,

WHEREAS, at the January 19, 2016 meeting of Sylvania City Council it was recommended that additional modifications be made to the Design Guidelines and this matter was referred to the Zoning & Annexation Committee; and,

WHEREAS, the Zoning & Annexation Committee met on March 30, 2016 to review the guidelines and thereafter recommended that the design guidelines be approved subject to additional guidelines regarding bike racks; and,

WHEREAS, at the April 4, 2016 meeting of Sylvania City Council, the Chairman of the Zoning & Annexation Committee reported that the Design Guidelines would be revised to include the additional Committee comments.

NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Sylvania, Lucas County, Ohio, \_\_\_\_\_ members elected thereto concurring:

SECTION 1. That Chapter 1187 – Architectural Districts, of the Codified Ordinances of Sylvania, 1979, be, and the same hereby is, amended to read as set forth on “Exhibit A.”

SECTION 2. That Chapter 1150 – Neighborhood Conservation Overlay District, is hereby repealed.

SECTION 3. That Chapter 1151 – Downtown Overlay District, is hereby repealed.

SECTION 4. That Chapter 1152 – Design Review Regulations, is hereby repealed.

SECTION 5. It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of this council, and that all deliberations of this Council and of any of its committees that resulted in such formal action, were in meetings open to the public, in compliance with all legal requirements, including Section 121.22 of the Ohio Revised Code.

SECTION 6. That the Clerk of Council is hereby directed to post a copy of this Ordinance in the Office of the Clerk of Council in the Municipal Building pursuant to ARTICLE III, Section 12, of the Charter of this City.

SECTION 7. That this Ordinance is hereby declared to be an emergency measure necessary for the immediate preservation of the public peace, health, safety, property and welfare and for the further reason that this ordinance must be immediately effective to provide for the revised regulations regarding architectural districts and to make necessary changes to the Codified Ordinances. Provided this Ordinance receives the affirmative vote of five (5) or more members elected to Council, it shall take effect and be in force immediately upon its passage and approval by the Mayor; otherwise, it shall take effect and be in force thirty (30) days after it is approved by the Mayor or as otherwise provided by the Charter.

Vote dispensing with the second and third readings:            Yeas \_\_\_\_\_ Nays \_\_\_\_\_

Passed, \_\_\_\_\_, 2016, as an emergency measure.

\_\_\_\_\_  
President of Council

ATTEST:

APPROVED AS TO FORM:

\_\_\_\_\_  
Clerk of Council

\_\_\_\_\_  
Director of Law

APPROVED:

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Date

**CHAPTER 1187**  
**Architectural Districts**

<b>1187.01 Purpose.</b>	<b>1187.08 General Standards for Review; Certificate of Appropriateness in the Downtown Architectural District and Gateway Architectural District.</b>
<b>1187.02 Three Architectural Districts as Overlay Zones.</b>	
<b>1187.03 Repair and Maintenance Exception.</b>	
<b>1187.04 Boundaries.</b>	
<b>1187.05 Specific Requirements in the Neighborhood Character Architectural District.</b>	<b>1187.09 Historic Standards for Review; Certificate of Appropriateness in the Downtown Architectural District and Gateway Architectural District.</b>
<b>1187.06 Interpretation of Requirements in the Neighborhood Character Architectural District.</b>	<b>1187.10 Certificate of Appropriateness Required for Demolition.</b>
<b>1187.07 Specific Requirements in the Downtown Architectural District and Gateway Architectural District.</b>	<b>1187.11 Board of Architectural Review.</b>

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**1187.01 PURPOSE.**

The purpose of the Architectural Districts are to maintain a high character of community development, to protect and preserve property, to promote the stability of property values and to protect the general community welfare by regulating the exterior architectural characteristics of structures in areas hereinafter defined. Standards and guidelines described herein help ensure that new development and redevelopment is compatible with existing urban form and local plans for enhancement of unique urban areas in the City. The Architectural Districts also help advance the planning goals expressed in the Sylvania Land Use Plan, Downtown Plan, Gateway District Plan, and related planning documents.

**1187.02 THREE ARCHITECTURAL DISTRICTS AS OVERLAY ZONES.**

There are three Architectural Districts that apply to specific areas in the City. The Neighborhood Character Architectural District is created to help maintain the distinctive appeal of older residential neighborhoods in and near downtown Sylvania. These residential areas are locally-significant with historic roots associated with the earliest days of the City of Sylvania. The Downtown Architectural District recognizes the unique character of downtown Sylvania and contains requirements to help ensure that new construction on infill lots, along with the renovation of existing buildings, will blend with the urban fabric and character of Downtown Sylvania. The Gateway Architectural District is established to draw attention to the importance of areas adjacent to the US 23 interchange. This general area serves to welcome visitors to the City of Sylvania and therefore it is essential to maintain a quality introductory environment that expresses a positive community image. The three Architectural Districts are overlay zoning districts. They include development standards and requirements that are in addition to those

established by underlying zoning districts. All standards and regulations of the underlying zoning district apply, except where specifically modified or supplemented by provisions of these Architectural Districts.

**1187.03 REPAIR AND MAINTENANCE EXCEPTION.**

Nothing in this chapter shall be construed to prevent any ordinary repair or maintenance of an exterior architectural feature or any ordinary planting and landscaping.

**1187.04 BOUNDARIES.**

The boundaries of the three Architectural Districts are illustrated on the Official Zoning Map of the City of Sylvania.

**1187.05 SPECIFIC REQUIREMENTS IN THE NEIGHBORHOOD CHARACTER ARCHITECTURAL DISTRICT.**

In addition to requirements established within the underlying zoning district, the following additional requirements shall be met:

- (a) Building Orientation: All construction and/or renovation of a principal structure must provide for a single principal entrance, and that principal entrance shall face a public street.
- (b) Building Height: No new construction and/or renovation of a principal structure shall be constructed which is more than thirty percent (30%) above or below the average height of residences on the same block of land and on the same side of the street.
- (c) Front Yard Average: All construction and/or renovation of a principal structure shall meet the required setbacks of the zoning district in which it is located. Further, no principal building, or addition thereto, may be located further away from the street right of way line than the average setback of all structures along the block.
- (d) Building Materials: No less than 75 percent of the exterior building materials used for the construction and/or renovation of a principal structure shall be materials also found on the exterior of structures along the same block, and same side of the street.
- (e) Lot Coverage: The proposed ratio of area occupied by principal and accessory buildings and lot area, may not exceed the average ratio of area occupied by principal and accessory buildings and lot area for all adjacent buildings by more than 1.25 times.
- (f) Rooflines and Shapes: Roof shapes and rooflines must be generally compatible with other buildings and structures found along the same block. Where there is a dominant pattern of roof planes along a street, (such as roof planes generally parallel to the right-of-way line, perpendicular to the right-of-way line, or a certain combination of both) such pattern shall be similarly expressed in new construction and/or renovation. Similarly, roof pitches shall be similar to structures found along the same block.
- (g) Lot combinations: To help preserve and protect the historic character of the neighborhood and the rhythm of building mass, lot combinations are discouraged. Whenever applications are made to construct a new principal structure, or add to an existing principal structure, on two or more separate or combined parcels, such an application shall be first reviewed by the Design Review Board. This review shall include consideration of proposed building mass and scale in the context of neighboring property. Plan approval may include conditions requiring measures to reduce the visual mass of the building to make it compatible with established residences.
- (h) Garages: Attached garages may not occupy more than thirty percent (30%) of the total linear front façade distance facing the street. Detached garages also may not occupy more

than thirty percent (30%) of the total linear façade distance facing the street, unless located wholly behind the main building.

**1187.06 INTERPRETATION OF REQUIREMENTS IN THE NEIGHBORHOOD CHARACTER ARCHITECTURAL DISTRICT.**

Any questions of interpretation of the requirements associated with the Neighborhood Character Architectural District listed above shall be referred to the Board of Architectural Review for a determination.

**1187.07 SPECIFIC REQUIREMENTS IN THE DOWNTOWN ARCHITECTURAL DISTRICT AND GATEWAY ARCHITECTURAL DISTRICT.**

Whenever a structure within the Downtown Architectural District or Gateway Architectural Districts is proposed to be constructed or erected, or whenever an existing structure within the Downtown Architectural District or Gateway Architectural District is proposed to be altered, reconstructed, enlarged or remodeled, such that it involves the exterior design, material, finish grade line, major landscaping or orientation of the structure, an application for a Certificate of Appropriateness shall first be obtained. The application shall be accompanied by a line drawing indicating lot dimensions, size, shape, and dimensions of the structure, the location and orientation of the structure on the lot and the actual or proposed building setback lines. In addition, the application shall be accompanied by photos, illustrations and narrative material that describing the proposed design or change of design, use of materials, finish grade line, landscaping and orientation of the structure.

Upon receipt of an application for a Certificate of Appropriateness, which is accompanied by supporting material the application shall be referred to the Board of Architectural Review at its next regular meeting not more than thirty days from the date the application is filed. The Chairperson of the Board may also call a special meeting to consider such application. The Board shall consider and grant or deny the Certificate of Appropriateness within thirty days from the date of the filing of the application. The applicant may agree to extend this time period.

**1187.08 GENERAL STANDARDS FOR REVIEW; CERTIFICATE OF APPROPRIATENESS IN THE DOWNTOWN ARCHITECTURAL DISTRICT AND GATEWAY ARCHITECTURAL DISTRICT.**

The Board of Architectural Review, in deciding whether to issue a Certificate of Appropriateness, shall determine that the application under consideration promotes, preserves and enhances the architectural character of the community and would be consistent with the City of Sylvania's Architectural Review Guidelines. In conducting its review, the Board shall make examination of and give consideration to the elements of the application including, but not necessarily limited to:

- (a) Height.
- (b) Building massing, which shall include the relationship of the building width to its height and depth, and its relationship to the viewer's and pedestrian's visual perspective.
- (c) Window treatment, which shall include the size, shape and materials of the individual window units and the overall harmonious relationship of window openings.
- (d) Exterior detail and relationships, which shall include all projecting and receding elements of the exterior, including but not limited to, porches and overhangs and the horizontal or vertical expression which is conveyed by these elements.
- (e) Roof shape, which shall include type, form and materials.

- (f) Materials: texture and color, which shall include a consideration of material compatibility among various elements of the structure.
- (g) Compatibility of design and details, which shall include the appropriateness of the use of exterior design details.
- (h) Landscape design and plant materials, which shall include, in addition to requirements of this Zoning Ordinance, lighting and the use of landscape details to highlight architectural features or screen or soften undesirable views.
- (i) Pedestrian environment, which shall include the provision of features which enhance pedestrian movement and environment and which relate to the pedestrian's visual perspective.
- (j) Signage, which shall include the appropriateness of signage to the building.

**1187.09 HISTORIC STANDARDS FOR REVIEW; CERTIFICATE OF APPROPRIATENESS IN THE DOWNTOWN ARCHITECTURAL DISTRICT AND GATEWAY ARCHITECTURAL DISTRICT.**

When a historic property is involved (50 or more years old or older), The Board of Architectural Review shall consider the general standards listed above, along with the ten federal standards established by the Secretary of the U.S. Department of the Interior as follows as evaluative criteria. These are as follows:

- (a) Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
- (b) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
- (c) All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
- (d) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes that may have acquired significance shall be recognized and respected.
- (e) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
- (f) Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features, should be substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different elements from other building or structures.
- (g) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
- (h) Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.
- (i) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural materials, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.

(j) Whenever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

(k) The Design Review Board shall also utilize the U.S. Secretary of Interior's Guidelines for Rehabilitating Historic Buildings in their review and deliberation.

**1187.10 CERTIFICATE OF APPROPRIATENESS REQUIRED FOR DEMOLITION.**

Along with requirements associated with Section 1103.022, whenever a structure is proposed to be demolished in the Downtown Architectural District or Gateway Architectural District, an application for a Certificate of Appropriateness shall be filed with the Zoning Administrator. The Board of Architectural Review shall review the proposed demolition in terms of grading, landscaping and other design treatment of the property once it has been removed.

**1187.011 BOARD OF ARCHITECTURAL REVIEW.**

The Municipal Planning Commission shall constitute the Board of Architectural Review for all purposes under this chapter. The Board of Architectural Review shall adopt its own rules of procedure and provide for regular and special meetings in order to carry out the purposes of this Chapter. During its inquiry and review, the Board of Architectural Review may request that the applicant provide additional information, sketches and data as it may reasonably require. It may call upon experts and specialists for testimony and opinion regarding the matters under examination. It may recommend to the applicant changes in the plans that it considers desirable and may accept a voluntary amendment to the application to include or reflect such changes. The Board of Architectural Review shall keep a record of its proceedings and shall append to the application copies of information, sketches and data needed to clearly describe any amendment to it.

When its review is concluded, the Board of Architectural Review will determine by a vote of its members, whether the Certificate of Appropriateness shall be approved or denied. If approved by a majority of its members, the Board of Architectural Review shall return the application and appended material to the Zoning Administrator with the instruction that the Certificate of Appropriateness be issued, provided all other requirements for a building permit are met as applicable,. If not approved, the Board shall return the application and appended material to the Zoning Administrator with instructions that the certificate of appropriateness shall not be issued because the application did not meet the criteria and standards set forth herein. When an application is not approved, the Board of Architectural Review shall also provide specific information regarding how the submitted plans can be modified such that it could be considered to be consistent with the requirements of this Chapter.

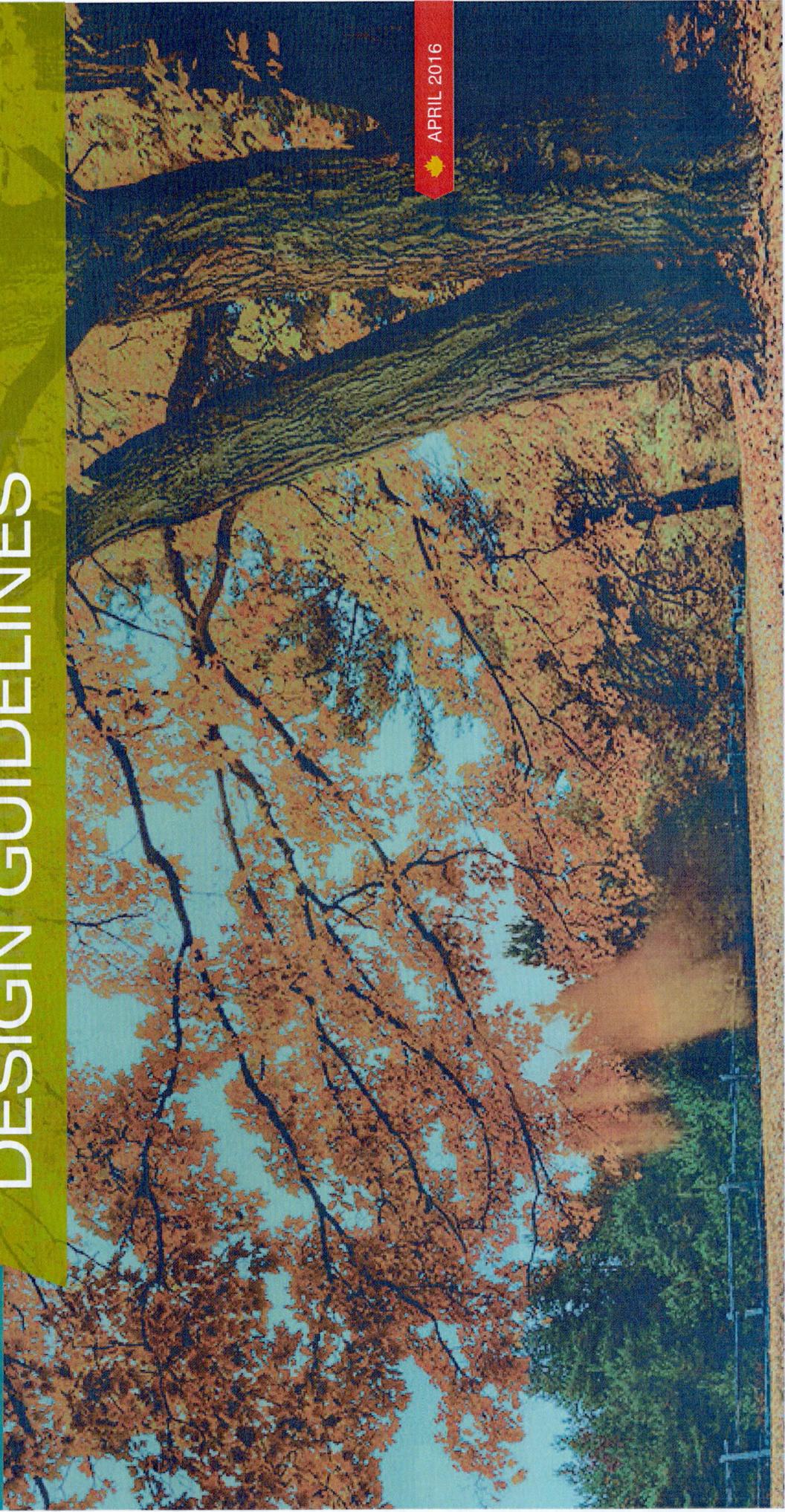
(Ord. \_\_\_\_\_-2015. Passed \_\_\_\_\_-2016.)

“Exhibit A”



# DESIGN GUIDELINES

APRIL 2016



# ACKNOWLEDGEMENTS

Adopted by Sylvania City Council on \_\_\_\_\_,  
\_\_\_\_\_, ordinance # \_\_\_\_\_.



## MAYOR

Craig A. Stough

## CITY COUNCIL

Mary J. Westphal, President

Katie Cappellini

Mark Frye

Douglas Haynam

Sandy Husman

Mark Luetke

Jason Mishka

## PLANNING COMMISSION

Mayor Craig A. Stough

Daniel Arnold

Thomas Lindsley

Ken Marciniak

Brian McCann

## DEPARTMENT OF LAW

Leslie Brinning, Law Director/City Solicitor

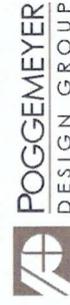
## DEPARTMENT OF PUBLIC SAFETY

Kevin Aller, Service Director

## ZONING ADMINISTRATOR

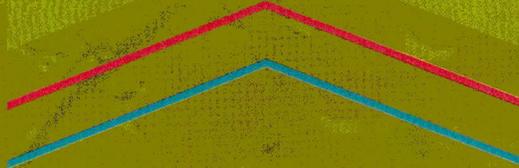
Timothy Burns

## PLANNING CONSULTANTS



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# INTRODUCTION

**A 20-YEAR TRADITION OF URBAN DESIGN EXCELLENCE**



**ORIGINAL DOWNTOWN/  
CENTRAL BUSINESS DISTRICT  
DESIGN GUIDELINES PREPARED**

**UPDATED DESIGN  
GUIDELINES  
PREPARED**



**INTRODUCTION**

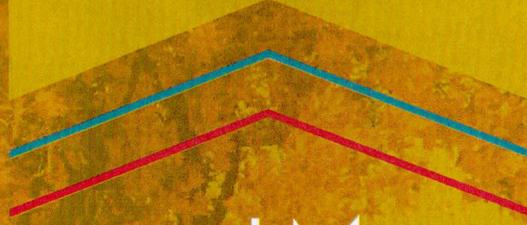
The City of Sylvania has a strong tradition of maintaining high urban design standards. Twenty years ago, Downtown/Central Business District Design Guidelines were prepared to supplement Zoning Ordinance language that called for an architectural review process in certain areas of the City. These tools were put in place to make sure that new construction and building renovations were compatible with the desired architectural character of downtown Sylvania. This 20-year-old initiative has paid major dividends to the City in terms of both elevated expectations for new investment and from the completion of many strong development and redevelopment projects.

In 2015, the need to refresh and recalibrate the way in which Sylvania deals with design review standards and procedures became apparent.

Since 1995, the City has updated planning documents, has prepared various studies, and has undertaken other initiatives that deepen the understanding of desired urban form and building design. Further, considerable new private development and redevelopment has occurred in the area, along with public improvements to road rights of way and other civic spaces that reshape the Sylvania community. Therefore, in concert with ordinance amendments, these Design Guidelines were prepared, adopted and fully replace the 1995 Design Guidelines. These new Design Guidelines set a new standard for excellence for the built environment that will emerge in the years to come.



# ORGANIZATIONAL FRAMEWORK

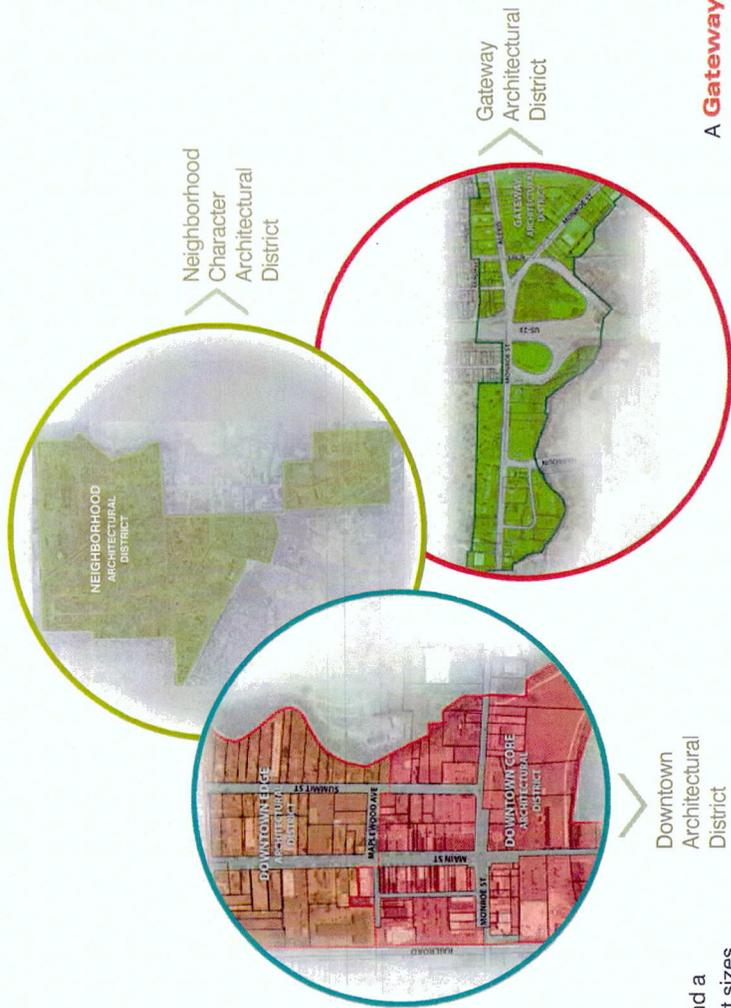


## ORGANIZATIONAL FRAMEWORK

THERE ARE THREE DISTINCT ARCHITECTURAL DISTRICTS IN SYLVANIA.

### A Neighborhood Character Architectural District

is illustrated on the Official Zoning Map and it relates to written zoning text. This District applies to an older established residential area near downtown with many older homes that were built before, or not long after the City was incorporated. As many homes were built around the same time, they share common architectural themes and character. Further, this area has a historic look and a consistent street pattern with similar lot sizes and building massing. While this area could someday be designated as a more formal Historic District with detailed design review requirements based on the Secretary of the Interior's Standards for Historic Rehabilitation, the overriding planning issue in the present day relates to the need to address infill and large scale building renovation. Demolition of existing housing stock is possible for several reasons, opening the possibility for new housing units that would be out of place given dominant architectural patterns and character of surrounding property. It is also possible that existing homes could be substantially enlarged or otherwise modified in ways that contradict the character of the area. For this reason, basic zoning requirements aimed at addressing contextual infill and building renovation are included exclusively within the zoning code itself. These Design Guidelines are not applicable to areas within the Neighborhood Character Architectural District.



**A Gateway Architectural District** is also established and its boundaries are illustrated on the Official Zoning Map. It applies to areas along Monroe Street (east and west of US 23). This area functions as Sylvania's "front door" and it serves to welcome and introduce people to the community. Existing land use and development patterns contribute to a suburban corridor-type look and feel, but the importance of this area and redevelopment opportunities warrant adherence to unifying standards and that will add real estate value. Design standards address both new construction and building modifications (other than for a residential building used exclusively for single-family residential purposes). Some standards apply uniformly throughout the District, but some distinctions are made between areas generally south of Maplewood and north of Maplewood. A Certificate of Appropriateness is required from The Board of Architectural Review. These Design Guidelines are applicable to areas within the Gateway Architectural District.

**A Downtown Architectural District** is established and its boundaries are illustrated on the Official Zoning Map. This Downtown Architectural District includes areas generally associated with the B-3 (Central Business) Zoning District and it expresses deep historical roots and an authentic sense of place. Design standards address both new construction and building modifications. Some standards apply uniformly throughout the District, but some distinctions are made between areas generally south of Maplewood and north of Maplewood. A Certificate of Appropriateness is required from The Board of Architectural Review for construction and modifications of buildings (other than for a residential building used exclusively for single-family residential purposes). These Design Guidelines are applicable to areas within the Downtown Architectural District.

# DOWNTOWN ARCHITECTURAL DISTRICT

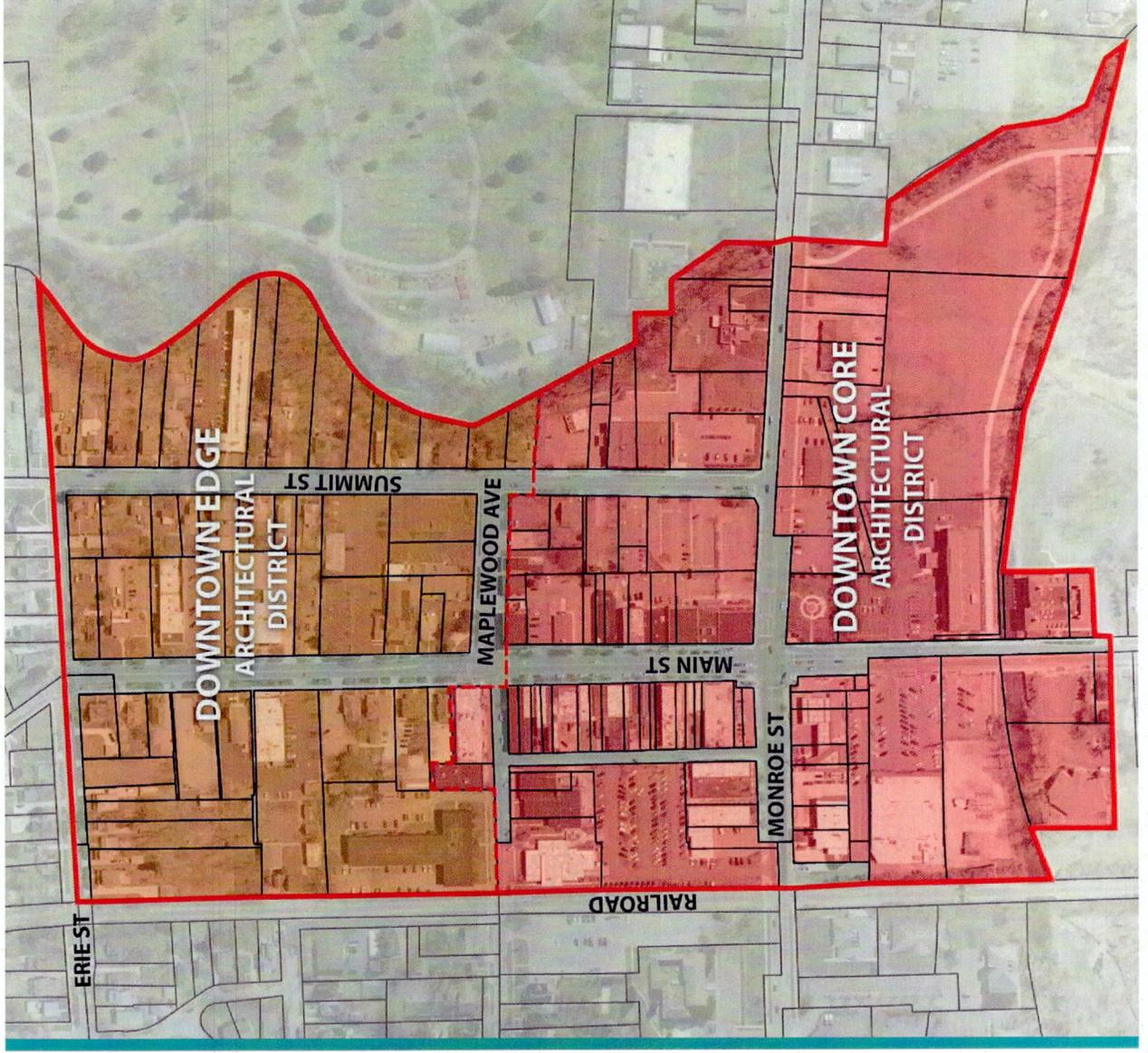
IT EXPRESSES DEEP HISTORICAL ROOTS AND AN AUTHENTIC  
SENSE OF PLACE. DESIGN STANDARDS ADDRESS BOTH  
NEW CONSTRUCTION AND BUILDING MODIFICATIONS.





## DOWNTOWN ARCHITECTURAL DISTRICT (DAD)

As illustrated below, the Downtown Architectural District is divided into two areas. The **Downtown Core** is the center of Downtown Sylvania while the **Downtown Edge** is more of a transitional area with important functional connections to the downtown core. In some instances, distinctions are made between desired urban form and design between these two areas.



## DAD DESIGN TOPIC 1 BUILDING FORM AND PLACEMENT

Building form refers simply to the mass of buildings and its placement on a lot. Good building form is contextual, meaning that the mass and placement of a building “fits” well with surrounding property. Dense urban downtowns call for building forms that generally cover the lot with perhaps a little off-street parking in the rear. Typically, parking is provided on-street or off-street in designated surface lots or in parking structures. In larger communities, the walkable nature of the downtown urban form and mixed building uses translates into reduced parking demand.



West Side of Main Street in Downtown Sylvania shows dense urban form. Buildings are pulled forward toward the street and there is less emphasis on vehicular travel.

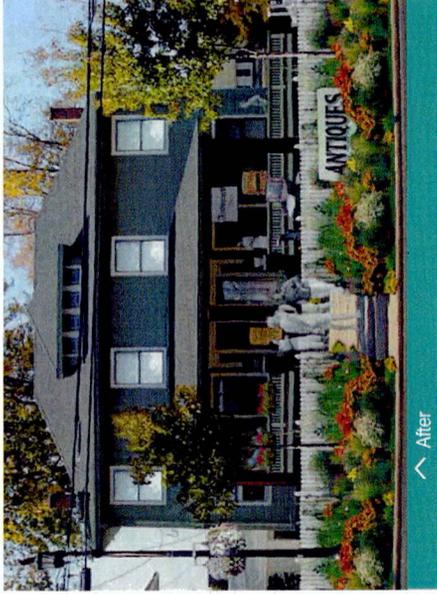
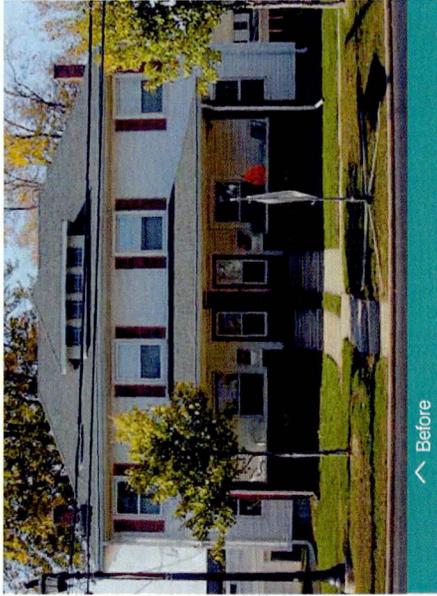
### DAD PRINCIPLE 1.1 > EXISTING BUILDING FORM SHOULD LARGELY BE MAINTAINED.

In the Downtown Core, new building construction should be 2-5 stories high and pulled forward toward the street to match existing building form. A larger building (subject to zoning height limits) may also be appropriate if an upper floor is recessed in from the street facade to provide for outdoor space. Building mass should match the scale and placement of surrounding structures, and the preference is to maintain building mass toward the street to preserve a strong connection between the pedestrian and adjacent businesses at the street level. As a complimentary requirement, the B-3 Zoning Regulations generally require that buildings be located no more than twelve feet from the right-of-way. This small amount of setback is intended to

allow for some outdoor seating, outdoor dining or similar “semi-public space.”

On Main Street, south of Monroe Street, building heights may also be 2-5 stories. Taller buildings (subject to zoning height limits) are especially well-suited here as the grade slopes down toward Ten Mile Creek. The Wingate Hotel is already 4 stories and future development of the SOMO area (southeast corner of Main and Monroe Street) is envisioned to be 3-4 stories.

In the Downtown Edge, existing development patterns include two story buildings set back from the road greater distances (compared with areas to the south). Where opportunities present themselves to bring new buildings forward toward the road, they should be explored to help better connect the pedestrian space with adjacent buildings.



Alternatively, bringing landscape elements (plant material, decorative fences, public art, etc.) forward can also help to better connect the pedestrian with private spaces, while maintaining existing building form and character.

**DAD PRINCIPLE 1.2 > EXISTING PATTERNS OF BUILDING PLACEMENT ON SHOULD LARGELY BE MAINTAINED.**

In the downtown core (Main Street between Maplewood and Monroe) zero side lot lines are very important and encouraged to maintain the continuous pedestrian experience. The exception to this relates to the need for alleys and pedestrian connections between parking in the rear of buildings and front facades. Elsewhere, side or rear yards may be desirable to reflect existing development patterns and to allow for motorized or non-motorized travel.

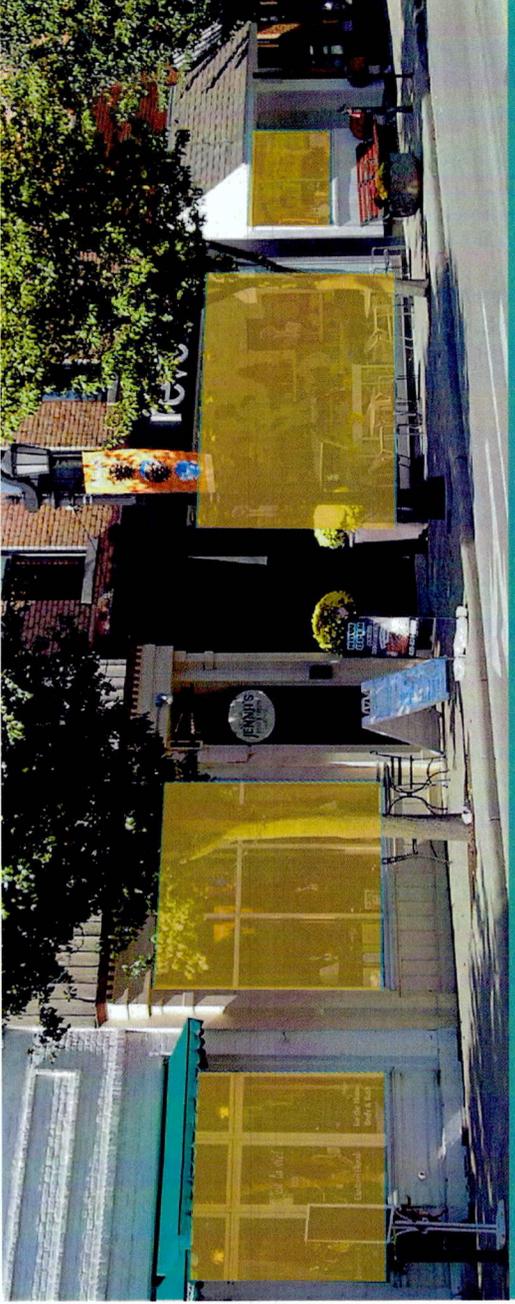
**DAD PRINCIPLE 1.3 > EXISTING RATIOS OF BUILDING FACADE WIDTH TO LOT WIDTH SHOULD BE MAXIMIZED SO THAT BUILDING FACADES OCCUPY AS MUCH OF THE FRONTAGE AS POSSIBLE.**

The goal is to maintain full pedestrian experience at the street wall, rather than creating gaps between buildings that do not have any visual or functional appeal. Throughout the Downtown Architectural District, gaps between buildings are generally discouraged, unless they serve critical functions associated with parking area access, pedestrian movement, or some other public function.

DAD DESIGN TOPIC 2

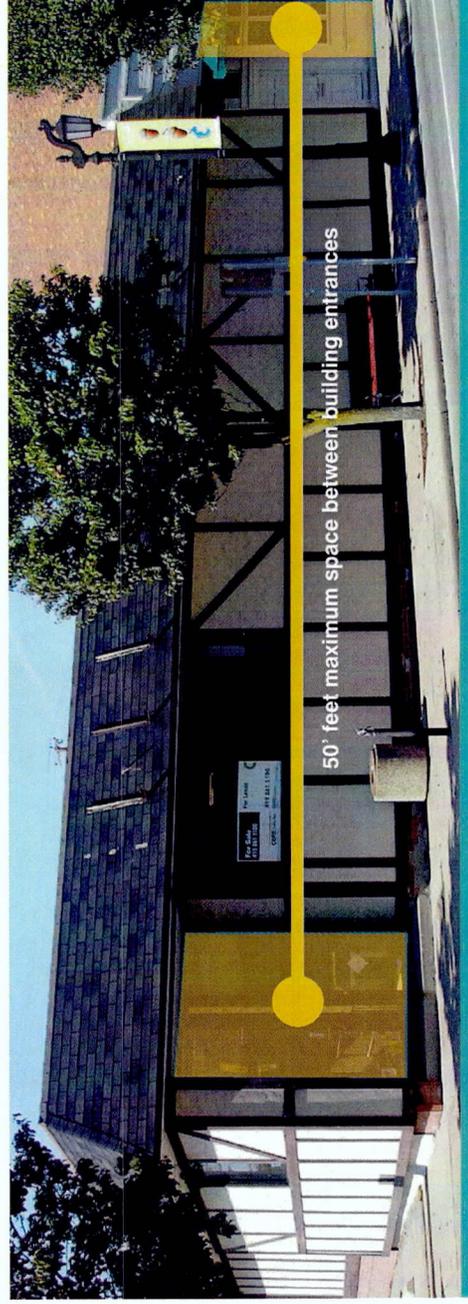
**BUILDINGS - WINDOWS AND DOORS**

In downtowns, buildings with ample window areas and building entries are preferred. Windows and doors create functional connections between the pedestrian and the interior spaces of buildings. Buildings with larger “blank” wall surfaces that face a street “dehumanize” areas and create places that are not inviting. Ample window area and defined building entrances at close intervals help to blend the public pedestrian spaces with the private interior spaces; as well as help to make the downtown environment feel richer, more visually interesting and more vibrant.



**DAD PRINCIPLE 2.1 > WINDOW GLAZING**

Buildings should have no less than 60% window glazing on the first floor for all facades that front on a public street. Upper floor facades should have approximately 40% window glazing.



**DAD PRINCIPLE 2.2 > ENTRANCES**

Facades related to larger buildings that front on a public street should have at least one entrance every 50 feet. This entrance should be a public entrance; not a service entrance.

DAD DESIGN TOPIC 3  
**BUILDINGS - WALL  
ARTICULATION**

Large expanses of uniform building walls with singular materials do not contribute to the visual interest of a building or place. While less common in traditional downtowns, expansive walls uninterrupted by windows, entryways, or even variations in materials or textures are not uncommon in new construction.

Building designs should incorporate some methods to break up walls that extend for specific distances. Buildings with large uninterrupted wall surfaces with uniform materials that are visible from a public street “dehumanize” areas and create the appearance of excessive building mass.



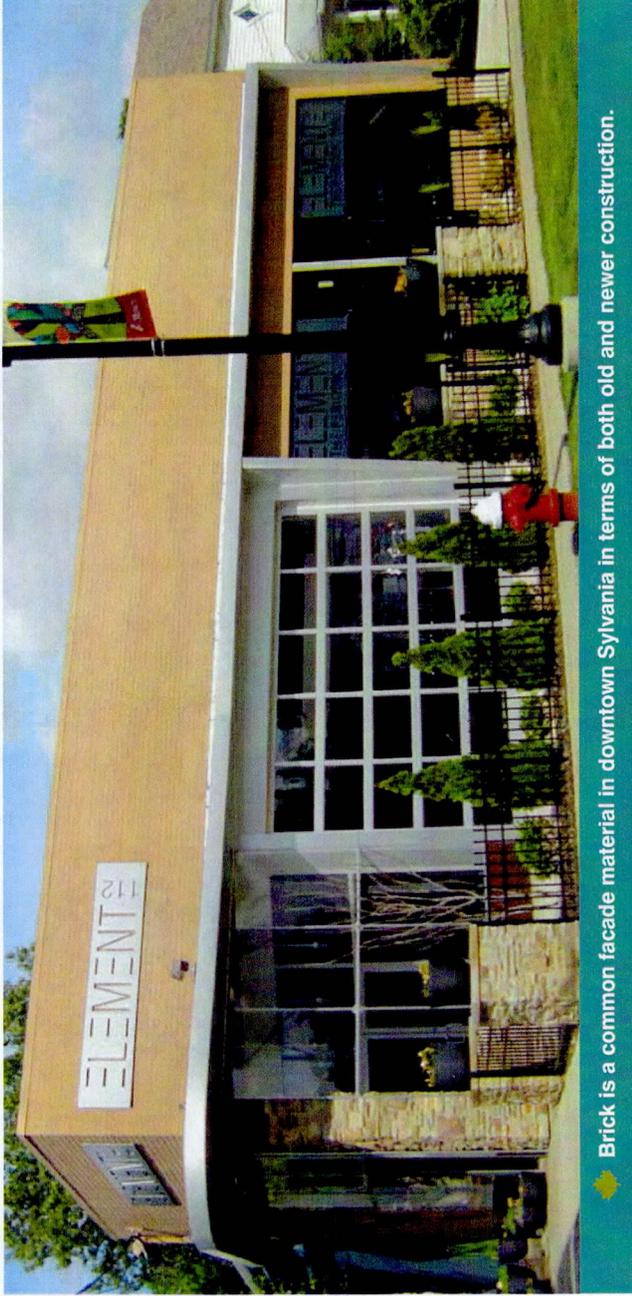
Ideally windows and doors, break up the building wall when facing a public street, but when that is not possible, long and large wall planes should be broken up with variations in materials, textures, colors and other means. Circumstances shown above can also contribute to a lost feeling of pedestrian safety.

**DAD PRINCIPLE 3.1 > BUILDINGS - WALL ARTICULATION**

No wall plane that is located within 50 feet of a road right-of-way and is visible from a public street shall extend more than 30 feet without some type of break to add visual interest. Breaks may include off-sets or changes in exterior materials, columns, wall plane shifts, recesses, etc. Breaks may also include a public entrances or substantive window areas.

## DAD DESIGN TOPIC 4 BUILDING DESIGN - MATERIALS

Use of multiple exterior materials makes a building more complex and visually interesting. New construction should incorporate variations in exterior materials and renovation activity should seek to maintain (or add to) the visual complexity of the building. While brick materials are generally preferred, these guidelines do not advocate the use of specific materials, or combinations thereof. Rather, the designer and property owner are challenged to creatively organize multiple materials to express individual character while complimenting adjacent buildings.



### DAD PRINCIPLE 4.1 > BRICK IS A PREFERRED MATERIAL FOR AT LEAST SOME OF A DOWNTOWN FACADE. THE USE OF MULTIPLE MATERIALS IS ENCOURAGED.

The use of vinyl siding, aluminum siding, stucco or engineered stucco systems, including but not limited to those commonly known as dryvit or exterior insulation and finish systems (EIFS), is discouraged in downtown, especially in terms of the front facade.



DAD DESIGN TOPIC 5  
**AWNINGS &  
ARCHITECTURAL  
PROJECTIONS**

Awnings help to define pedestrian space in downtowns, adding color and three dimensional complexity to most buildings.



**DAD PRINCIPLE 5.1 > AWNINGS**

Generally encourage awnings that complement the building facade.



## DAD DESIGN TOPIC 6 SIGNAGE

Signage is an important element of a building, well beyond the functional attribute of helping to identify a place or building. It expresses the brand identity of the business and it contributes to how a building looks and feels. In downtowns, signage is oriented to both pedestrians and people in vehicles. All signage in Sylvania must meet other elements of the Sylvania Sign Code (i.e., type and size) and is subject to design review.



**DAD PRINCIPLE 6.1** > DOWNTOWN SIGNAGE SHOULD COMPLEMENT THE BUILDING FACADE.

DAD DESIGN TOPIC 7  
**BUILDING  
ILLUMINATION**

Building illumination is encouraged to accentuate the building facade or signage. The lighting source should generally be separate from the building with light washing onto the structure itself to highlight signage or architectural elements of the building. Only low intensity light should be used to accent signage or building elements, without light "spillover" on to adjacent property. The light source affixed to a building should not direct light outward toward the street or any public space.



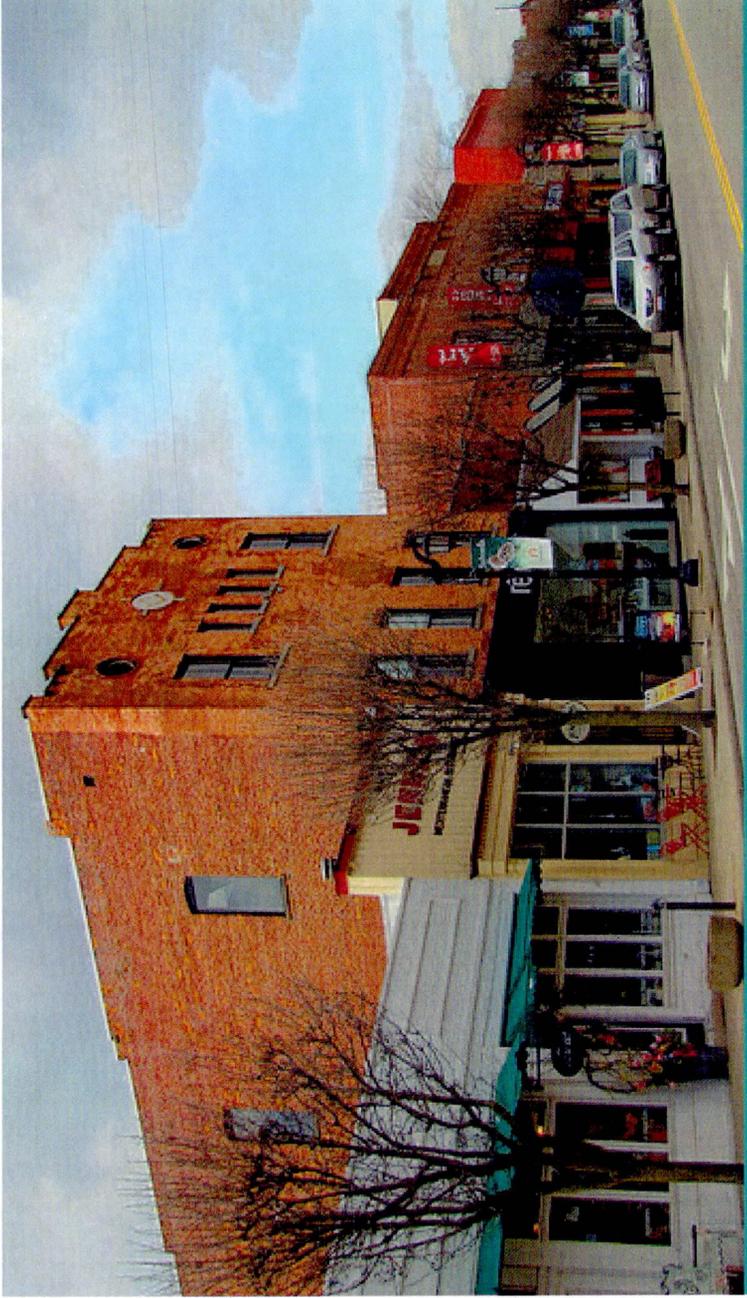
➡ Exterior lighting accents the building and makes the sign easier to read at night.

**DAD PRINCIPLE 7.1** > DOWNTOWN BUILDINGS AND SIGNAGE MAY BE ILLUMINATED WITH LIGHT SOURCES THAT DIRECT LIGHT TOWARD THE BUILDING OR SIGN.

DAD DESIGN TOPIC 8  
**OTHER BUILDING  
ELEMENTS**



Utility connections and trash collection equipment should not be visible from the right-of-way (ROW).



**DAD PRINCIPLE 8.1 > UTILITY CONNECTIONS**

All utility connections should be located behind the building and should not be visible from a public street.

**DAD PRINCIPLE 8.2 > TRASH COLLECTION EQUIPMENT**

Where possible, trash collection equipment should be designed to integrate with the building. If a standalone dumpster is the only practical alternative, it should be fully screened and not visible.

**DAD PRINCIPLE 9.1 > PARKING LOTS**

Parking lots should never be located between the front facade of a downtown building and the street right-of-way. Parking areas should normally be located behind buildings, or otherwise internalized to the block.

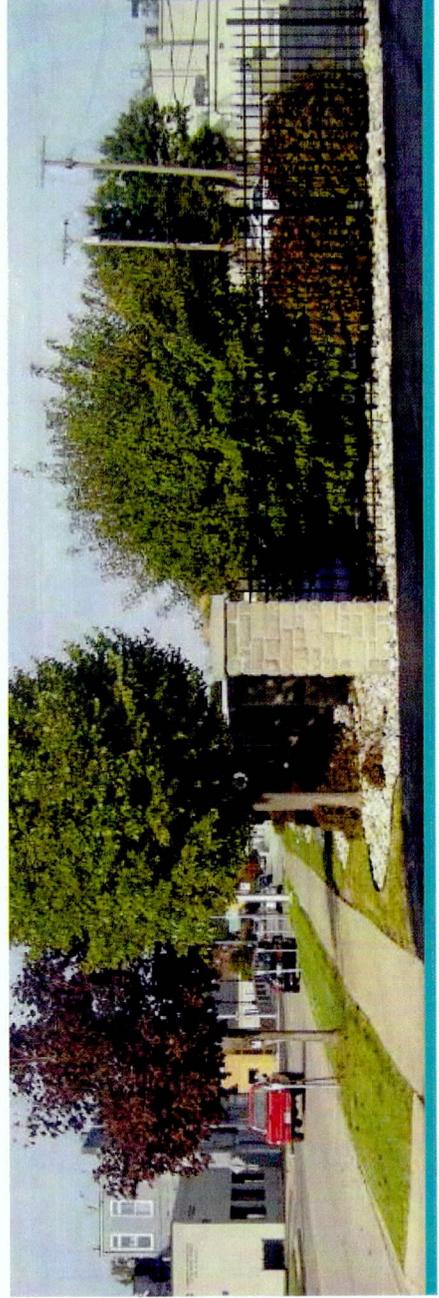


**DAD PRINCIPLE 9.2 > PEDESTRIAN SPACES IN PARKING AREAS**

Areas assigned to pedestrian movement in parking areas should be defined with pavement markings using paint, stamped surfaces, or different materials to identify pedestrian spaces.

**DAD PRINCIPLE 9.3 > PUBLIC STREET PARKING AREA**

Wherever a parking area must abut a public street, a decorative fence or knee wall should also be provided in line with the established building wall along the same block. This fence or knee wall should also include a landscaped strip (5-8 feet wide) to help separate the pedestrian from surfaces designed for vehicles. Landscape materials should include a combination of plant material (shrubs, trees, bushes) that screens at least 50% of that parking area to a height of 3 feet.



DAD DESIGN TOPIC 9  
**MOTORIZED/  
NON-MOTORIZED  
MOBILITY**

In strong downtowns, safe and comfortable pedestrian movement is critical to success, so site design choices should be very attentive to the pedestrian experience. It is essential to pay close attention to the intersection of motorized and non-motorized travel paths and achieve a strong balance between pedestrian and vehicular movement.

**DAD PRINCIPLE 9.4** > LOADING AND SERVICE AREAS SHOULD BE LOCATED BEHIND BUILDINGS AND SCREENED FROM VIEW.

**DAD PRINCIPLE 9.5** > OPPORTUNITIES FOR FORMAL SHARED PARKING ARRANGEMENTS SHOULD BE SOUGHT.

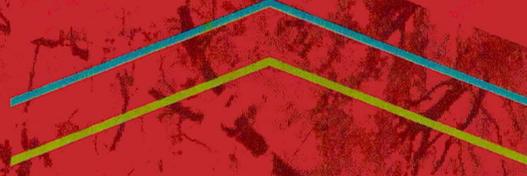


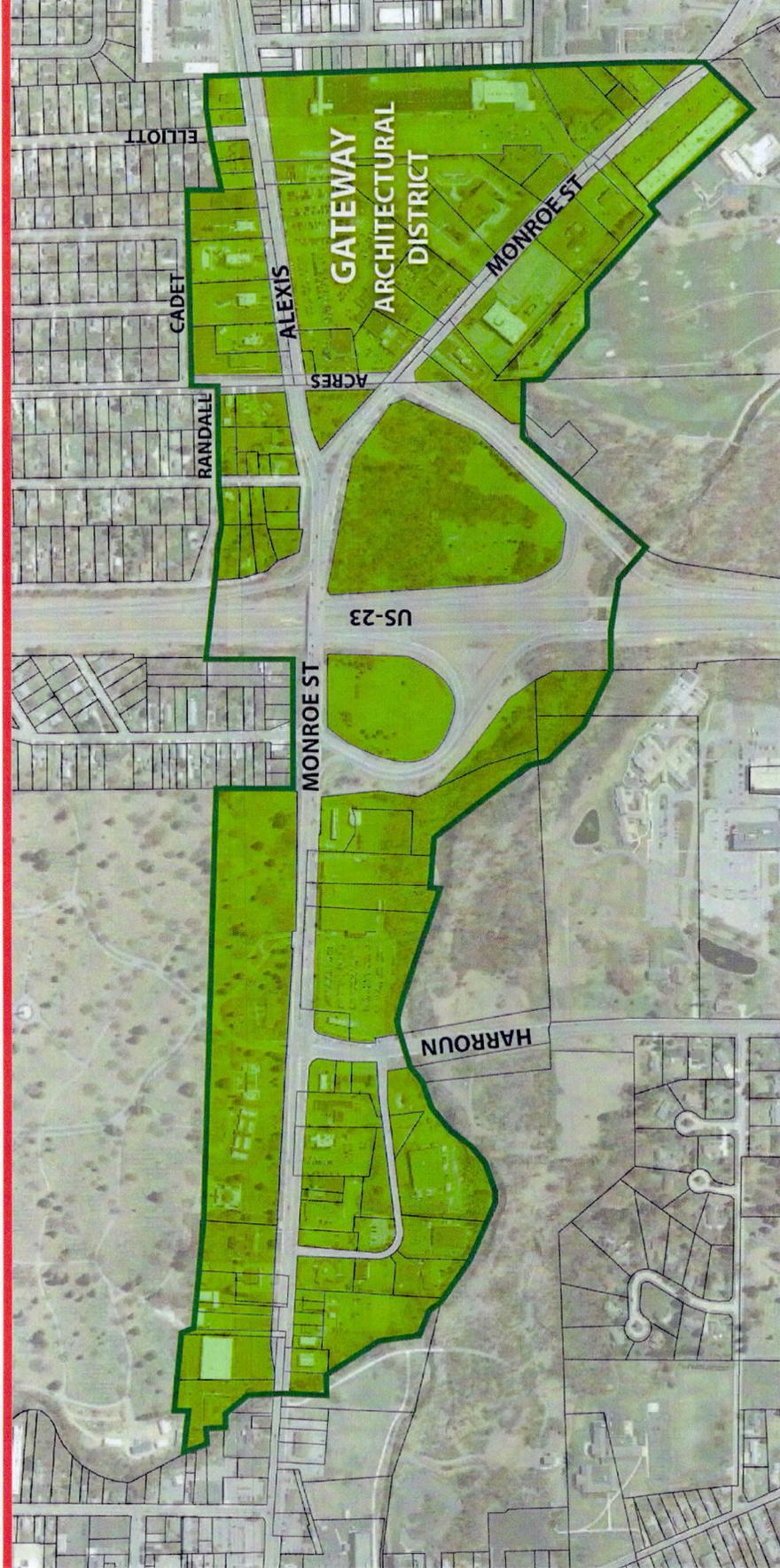
**DAD PRINCIPLE 9.6** > BIKE PARKING

If placed in the public right-of-way, bike parking racks must be approved by the City Engineer with respect to placement and installation methods (materials, depth, anchors, clearance from other features in public or private spaces, etc.). Bike racks should securely anchor to a solid, immovable surface and provide two points of contact for a bicycle frame. Steel pipes or tubing is a preferred material for outdoor racks with a galvanized finish or powder coat finish to protect against corrosion. Bike racks should not block pedestrian movement or areas of vehicular movement and should be highly visible.

# GATEWAY ARCHITECTURAL DISTRICT

THIS AREA FUNCTIONS AS SYLVANIA'S "FRONT DOOR" AND IT SERVES TO WELCOME AND INTRODUCE PEOPLE TO THE COMMUNITY. EXISTING LAND USE AND DEVELOPMENT PATTERNS CONTRIBUTE TO A SUBURBAN CORRIDOR-TYPE LOOK AND FEEL.





**GATEWAY ARCHITECTURAL DISTRICT (GAD)**



As illustrated above, the Gateway Architectural District extends from the eastern edge of downtown to areas west of US 23, along both Monroe Street and Alexis Road. Centered on the intersection of Monroe Street and US 23, the Gateway Architectural District relates to a place that introduces people to the Sylvania community. High quality and well planned urban development is an essential element to support the need to establish an attractive and high-functioning commercial corridor as development and redevelopment occurs.

GAD DESIGN TOPIC 1

**CORRECT BUILDING FORM**



Building form refers simply to the mass of buildings and its placement on a lot. Unlike the

Downtown Architectural District, the Gateway

Architectural District is primarily a "suburban," auto-oriented corridor. The gateway area

generally includes many individual smaller single-use buildings on shallow

lots (especially west of US

23). Both Monroe Street and

Alexis Road carry heavy traffic

volumes on five lanes of road

pavement with a ROW that

varies somewhat in width,

and is somewhat limited in

width in certain areas. Many

adjacent businesses rely on

the exposure provided by

this traffic flow (along with

convenient parking) and they

utilize site designs that allow

for easy vehicular access and

ample parking.

Despite being a suburban corridor, steps to bring buildings forward toward the street are encouraged.

There is some precedent for this with existing buildings along Monroe Street (particularly west of US 23).

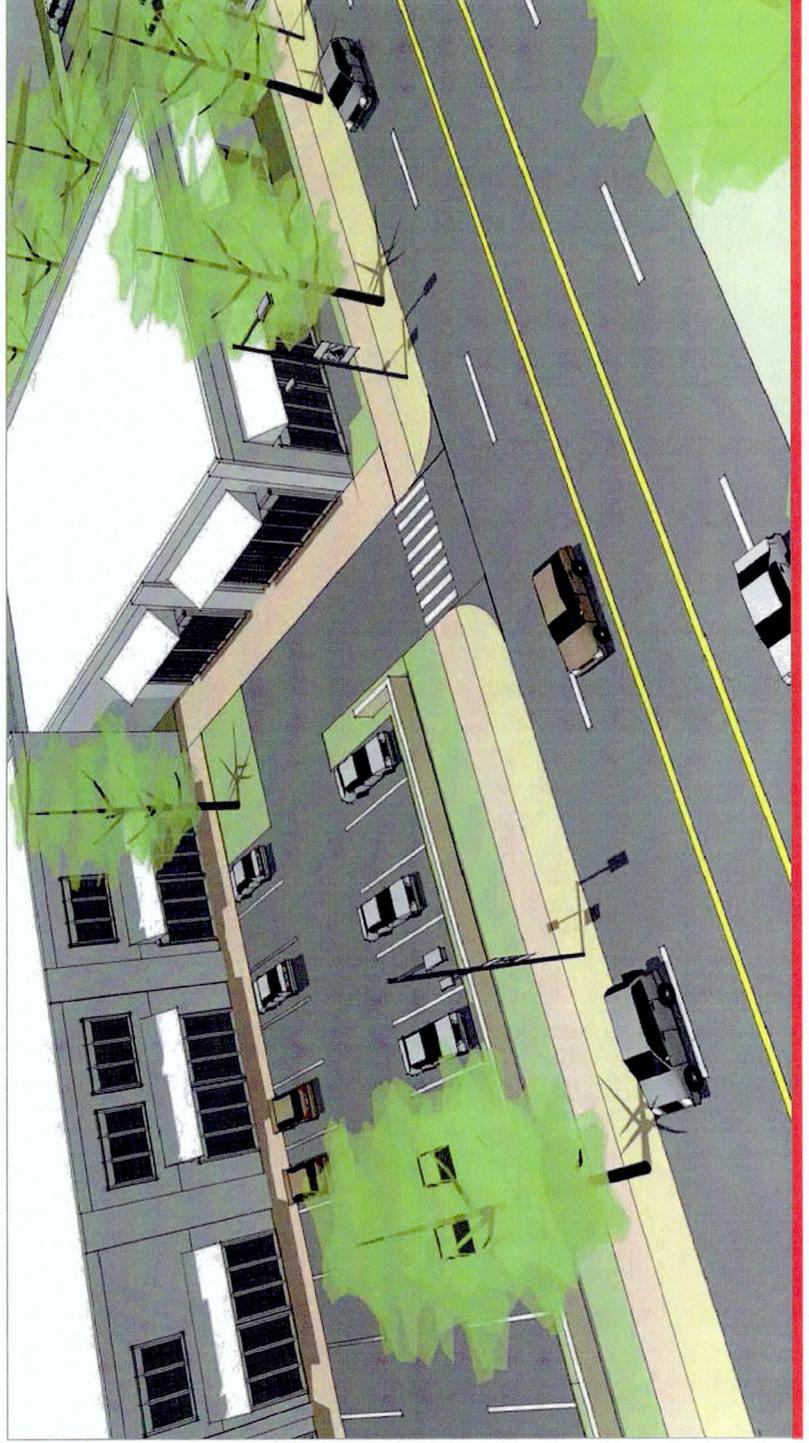
When buildings are pulled forward toward the street and parking areas are located on either side, there is a

greater sense of safety. When parking is absolutely necessary between the building and the public right-

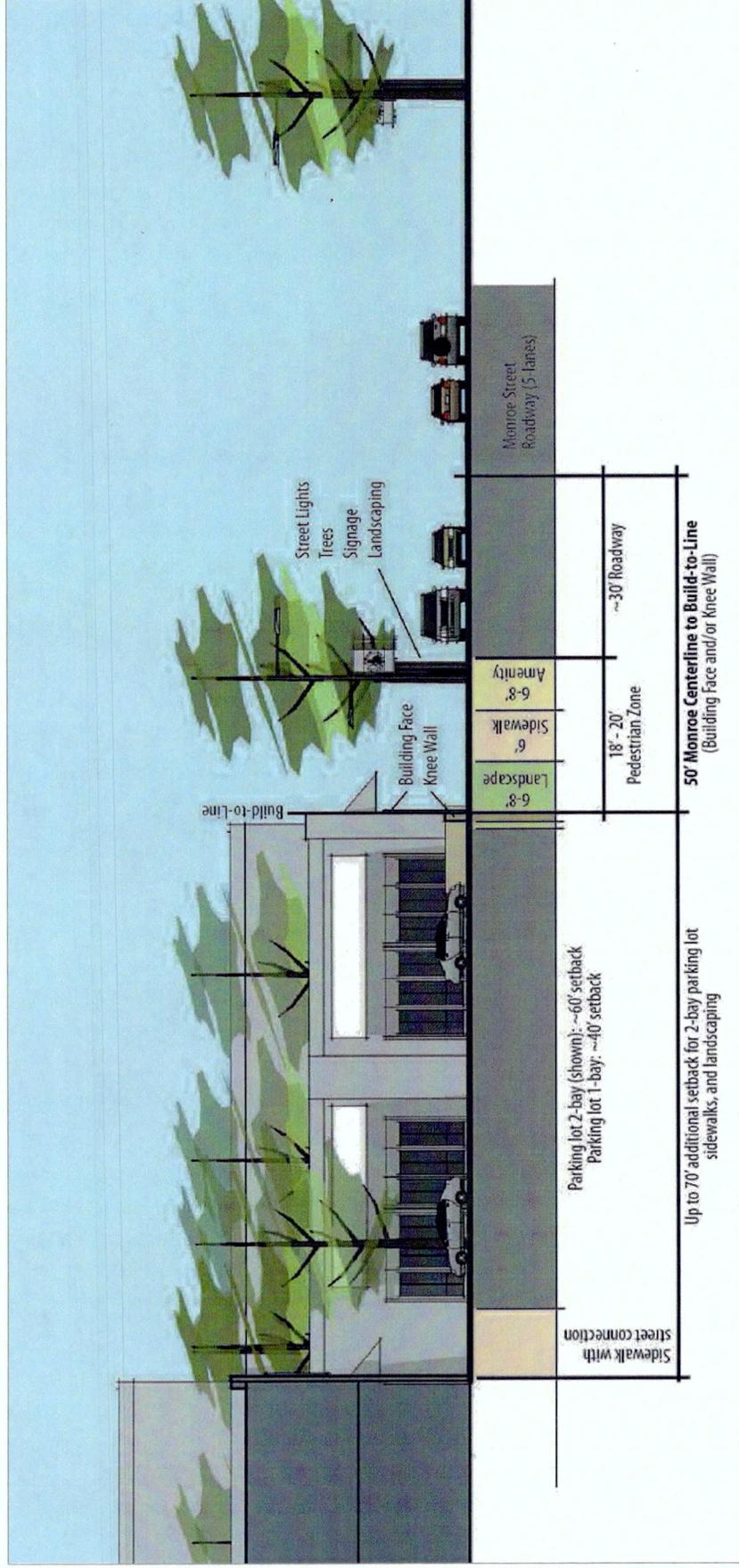
of-way, knee walls are encouraged to help continue the delineation of private spaces from public space

(road right-of-way).

Conceptually, this design concept is illustrated below:



**GAD PRINCIPLE 1.1** > THE GATEWAY AREA SHOULD HAVE SINGLE TO MULTIPLE STORY BUILDING FORMS THAT ARE GENERALLY LOCATED NO MORE THAN 50 FEET AWAY FROM THE CENTER OF THE ROW. IF THIS IS NOT FEASIBLE GIVEN SITE OR OTHER CONSIDERATIONS, BUILDINGS SHOULD BE NO MORE THAN 120 FEET FROM THE CENTERLINE OF THE ROW IN ORDER TO PROVIDE ROOM FOR A TWO-BAY PARKING AREA BETWEEN THE BUILDING AND THE ROW.



New buildings resulting from new construction, expansions or remodeling should be located no more than 50 feet from the center of the ROW where feasible. This 50-foot setback is measured from the center of the ROW to account for the possibility of a widened ROW in the future in some locations. Where this is not practical or feasible, buildings may be setback an additional 70 feet from the center of ROW (no more than 120 feet).

total to provide room for a 2-bay parking area and sidewalk adjacent to the building.

When parking is provided between the building and the street, a knee wall shall be provided to help delineate the division between public and private spaces and to screen views of parked cars (See GAD 8.1).

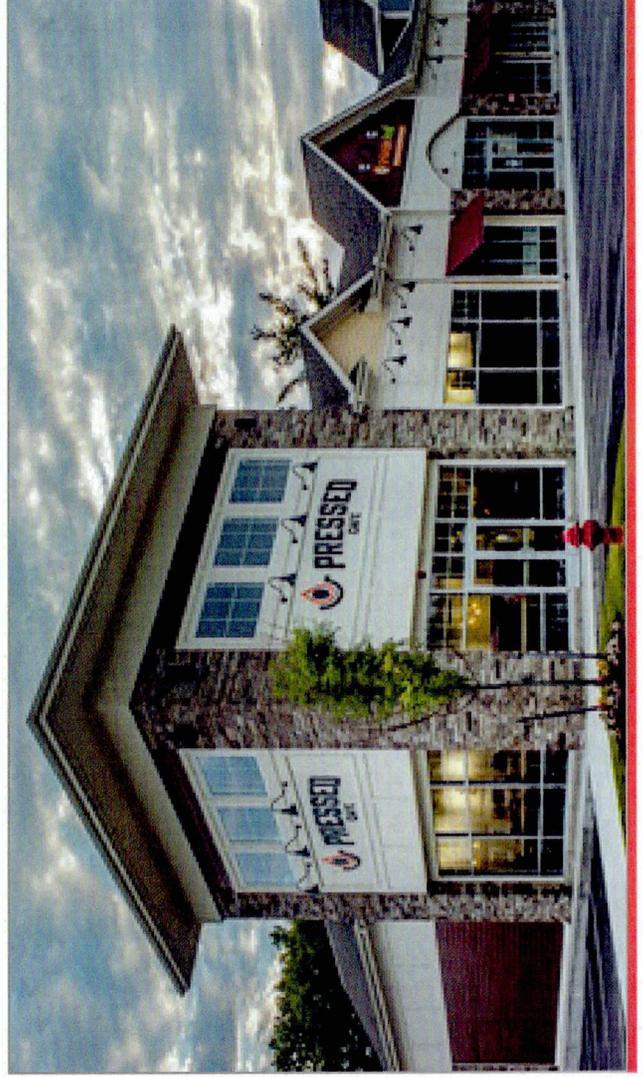
Potentially, future development activity may include opportunities to consolidate existing smaller buildings and lots into larger ones. This should be encouraged as a means to help reduce the number of curb cuts on Monroe Street and allow for more efficient site development.

GAD DESIGN TOPIC 2  
**BUILDINGS - WINDOWS AND DOORS**

While not as important as in the Downtown Architectural District, ample window and building entries are also preferred in the Gateway Architectural District. Windows and building entries help create more human-scale building facades; creating places that are more inviting and more visually interesting.

**GAD PRINCIPLE 2.1** > BUILDINGS IN THE GATEWAY AREA SHOULD HAVE AT LEAST 30% WINDOW GLAZING ON THE FIRST FLOOR FOR ALL FACADES THAT FACE A PUBLIC STREET.

**GAD PRINCIPLE 2.2** > BUILDINGS IN THE GATEWAY AREA SHOULD HAVE BUILDING ENTRIES THAT FACE THE STREET EVERY 75 FEET.



GAD DESIGN TOPIC 3  
**BUILDINGS - WALL  
ARTICULATION &  
DESIGN**

Large expanses of uniform building walls with singular building materials on flat building walls are discouraged. Building walls should break up the surface of the wall with varied wall surfaces and changes in materials. This will help avoid the appearance of excessive building mass.



**GAD PRINCIPLE 3.1 > WALL PLANES**

No wall plane that is visible from any public street shall extend more than 50 feet without some type of significant break to add visual interest. Breaks may include off-sets to the wall plane or the use of multiple materials to add contrast and variation.

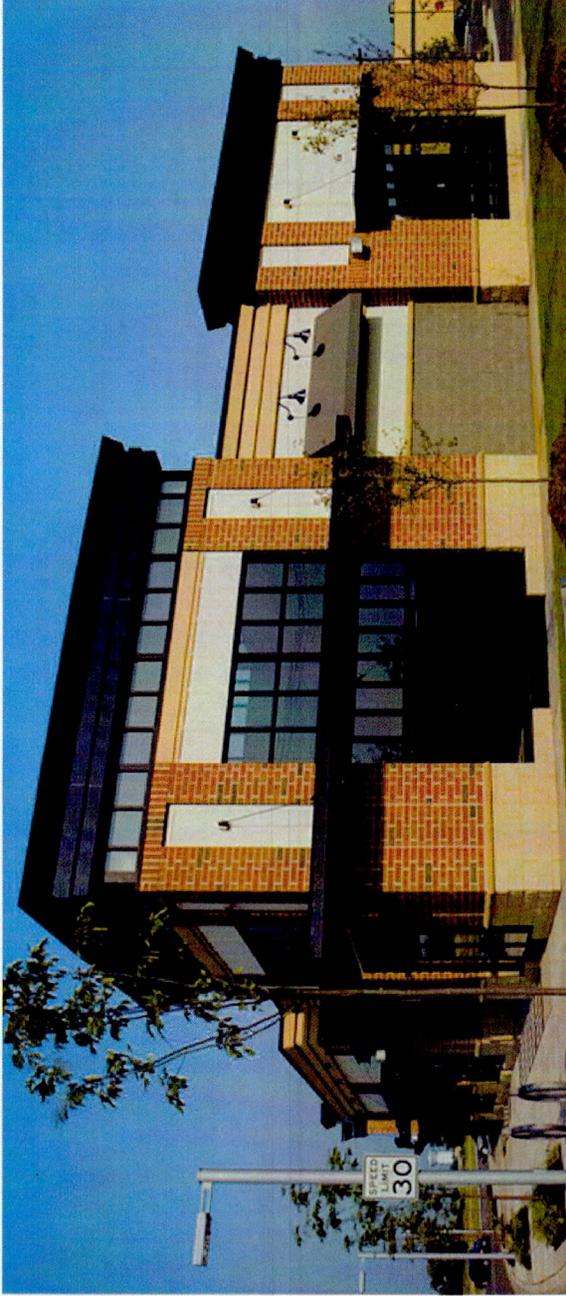


Large wall plane with singular materials and no breaks

#### GAD DESIGN TOPIC 4

### BUILDING DESIGN - MATERIALS

Use of multiple exterior materials makes a building more complex and visually interesting. New construction should incorporate variations in exterior materials and renovation activity should seek to maintain (or add to) the visual complexity of the building. These guidelines do not require the use of specific materials or combinations thereof. Rather, the designer and property owner are challenged to creatively organize multiple materials to express individual character while complimenting adjacent buildings.



Variations in exterior materials and colors help make exterior facades more complex and more visually compelling.



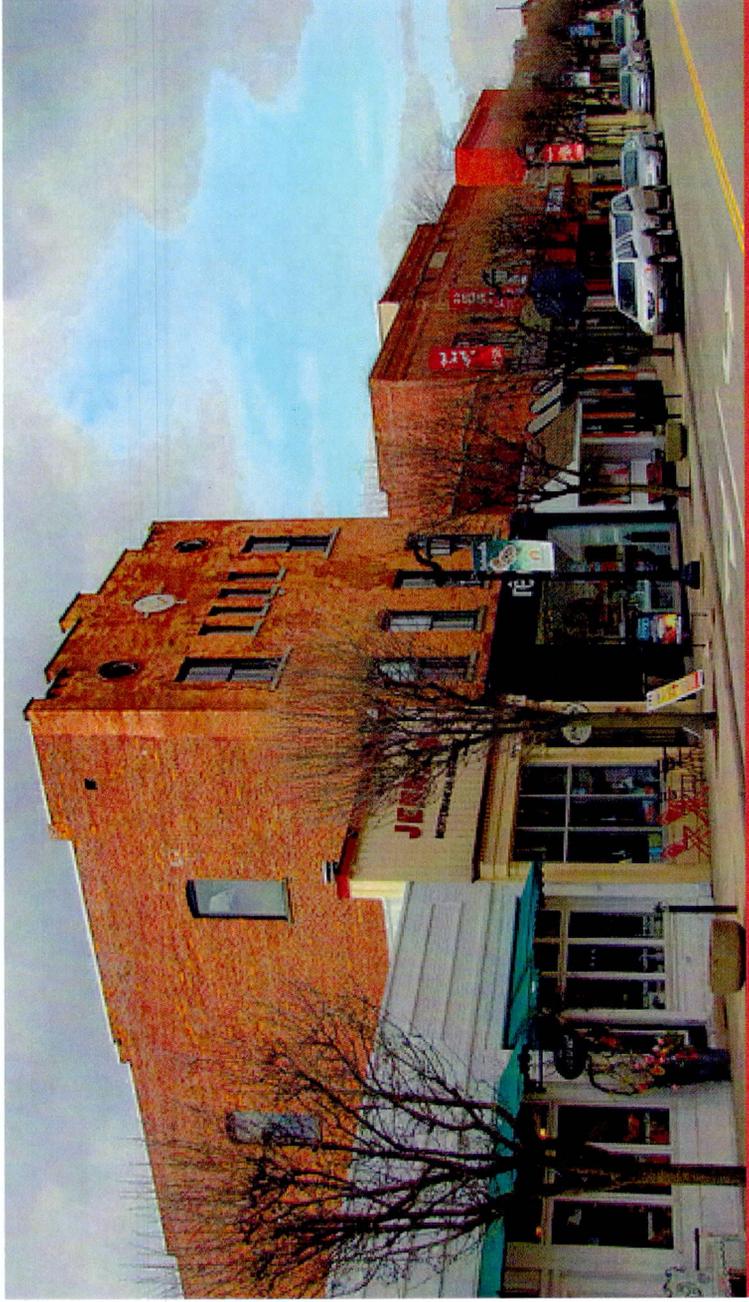
#### GAD PRINCIPLE 4.1 > GATEWAY ARCHITECTURAL AREA MATERIALS

Use of brick is generally encouraged in the Gateway Architectural area, along with the use of multiple colors and materials to help make the building more complex and visually interesting. Architectural grade concrete masonry units (CMU's) with high quality exterior surfaces that are polished, textured, ground, glazed, or have specialty shapes may also be used. Other materials such as EIFS/stucco, architectural grade metals, wood or cement board siding, glass block, and precast concrete may be used only for trim, detailing, and incidental or secondary wall areas. Exterior wall materials, such as industrial style metal siding, T-11, plain faced CMU, vinyl siding, or hard board-type materials are discouraged, especially when associated with a building wall that is visible from the street.



GAD DESIGN TOPIC 5  
**OTHER BUILDING  
ELEMENTS**

Utility connections and trash collection equipment should not be visible from the right-of-way.



**GAD PRINCIPLE 5.1** > ALL UTILITY CONNECTIONS SHOULD BE LOCATED BEHIND THE BUILDING AND SHOULD NOT BE VISIBLE FROM A PUBLIC STREET.

**GAD PRINCIPLE 5.2** > WHERE POSSIBLE, TRASH COLLECTION EQUIPMENT SHOULD BE DESIGNED TO INTEGRATE WITH THE BUILDING. IF A STANDALONE DUMPSTER IS THE ONLY PRACTICAL ALTERNATIVE, IT SHOULD BE FULLY SCREENED AND NOT VISIBLE.

## GAD DESIGN TOPIC 6 BUILDING ILLUMINATION

Building illumination is encouraged to accentuate the building facade or signage. The lighting source should be separate from the building with light washing onto the structure itself to highlight signage or architectural elements of the building. Only low intensity light should be used to accent signage or building elements without light "spillover" on to adjacent property. The light source affixed to a building should not direct light outward toward the street or any public space.

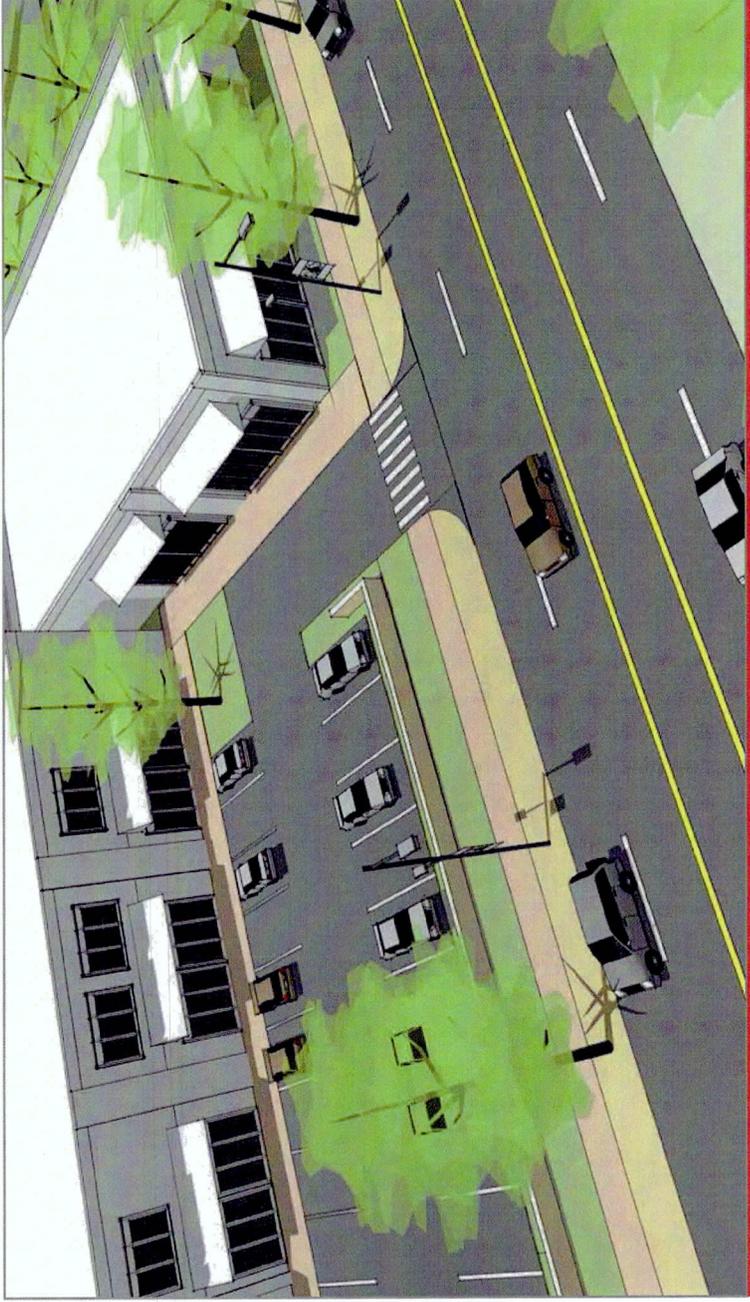


**GAD PRINCIPLE 6.1** > BUILDINGS AND SIGNAGE MAY BE ILLUMINATED WITH LIGHT SOURCES THAT ONLY DIRECT LIGHT TOWARD THE BUILDING OR SIGN.



GAD DESIGN TOPIC 7  
**MOTORIZED/  
NON-MOTORIZED  
MOBILITY**

Vehicular movement is dominant in the Gateway Architectural District. It is essential for vehicles to have safe and efficient access to commercial property and for parking to be efficient and convenient. It is also important to recognize that all trips begin and end with pedestrian movement and that bike and pedestrian travel becomes more important as the Sylvania River Trail grows in popularity (especially along the south side of Monroe Street).



**GAD PRINCIPLE 7.1 > DEEP PARKING LOTS IN FRONT OF BUILDINGS ARE DISCOURAGED. WHERE POSSIBLE, PARKING AREAS SHOULD BE DESIGNED TO BREAKUP LARGE EXPANSES OF ASPHALT.**

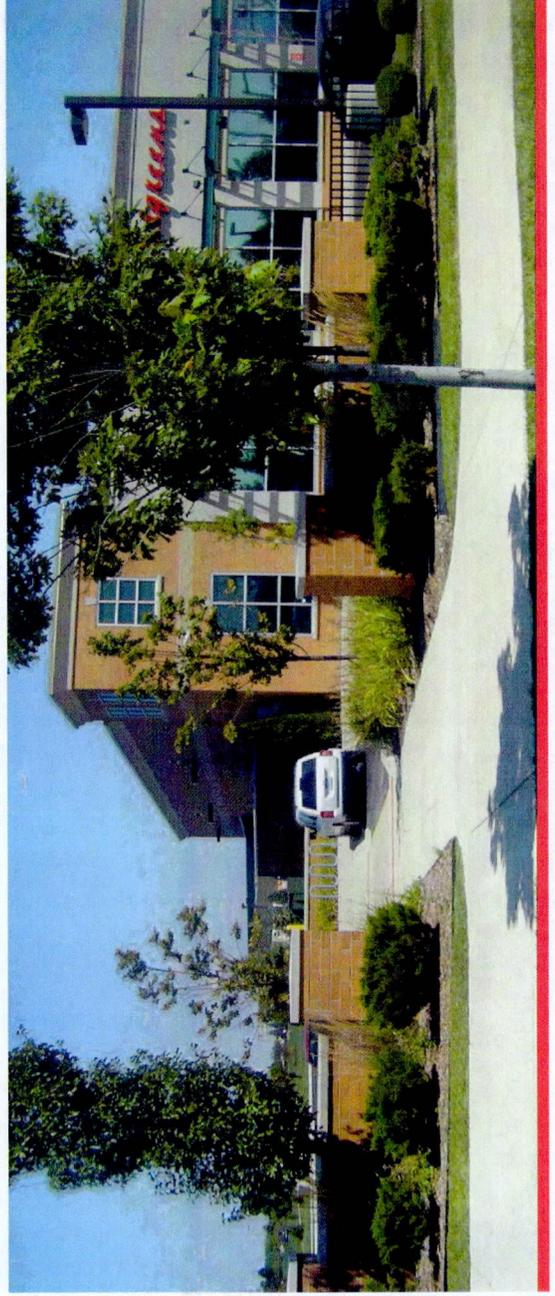
Parking areas that wrap around a building are desirable and encouraged as a means to reduce large areas of hard surfaces. When parking between buildings and the ROW is necessary, it should be either a single-loaded or a double-loaded parking isle. If single-loaded parking isles are provided, buildings should be pulled forward toward the street.

**GAD PRINCIPLE 7.2 >**  
**PARKING SPACES PROVIDED SHOULD NOT FAR EXCEED MINIMUM REQUIREMENTS ESTABLISHED BY THE ZONING CODE.**

The practice of providing excess parking is discouraged. Excess parking is defined as 150 percent of the minimum required spaces in the zoning code. Underutilized parking lots do little to contribute to a sense of place and create the need to deal with excess storm water runoff. Measures to mitigate excess parking include additional landscape treatments to soften large expanses of pavement and Low Impact Design (LID) techniques to deal with storm water management in a more creative and environmentally sustainable way.



**GAD PRINCIPLE 7.3 >**  
**AREAS ASSIGNED TO PEDESTRIAN MOVEMENT IN PARKING AREAS SHOULD BE DEFINED WITH PAVEMENT MARKINGS UTILIZING PAINT, STAMPED SURFACES OR DIFFERENT MATERIALS TO IDENTIFY PEDESTRIAN SPACES.**



**GAD PRINCIPLE 7.4** >  
LOADING & SERVICE AREAS  
SHOULD BE LOCATED BEHIND  
BUILDINGS AND SCREENED  
FROM VIEW.



**GAD PRINCIPLE 7.5** >  
OPPORTUNITIES FOR  
FORMAL SHARED PARKING  
ARRANGEMENTS SHOULD BE  
SOUGHT.

**GAD PRINCIPLE 7.6** >  
BICYCLE PARKING is required in  
accordance with Chapter 1158 of the  
Zoning Code. Bike racks should securely  
anchor to a solid, immovable surface  
and provide two points of contact for a  
bicycle frame. Steel pipes or tubing is a  
preferred material for outdoor racks with  
a galvanized finish or powder coat finish  
to protect against corrosion. Bike racks  
should not block pedestrian movement or  
areas of vehicular movement and should  
be highly visible.



## GAD DESIGN TOPIC 8 KNEE WALLS

Where parking is necessary between the building and road ROW, a knee wall is required to help separate parking areas from sidewalks and to help screen parked vehicles from view. There is precedent for this design element along the corridor as the cemetery (Toledo Memorial Park) on the north side of Monroe Street has a masonry wall that defines the line between public and private property. Elsewhere communities have used knee walls with some success as they try to separate parking areas from pedestrian areas and to screen views of parked vehicles.



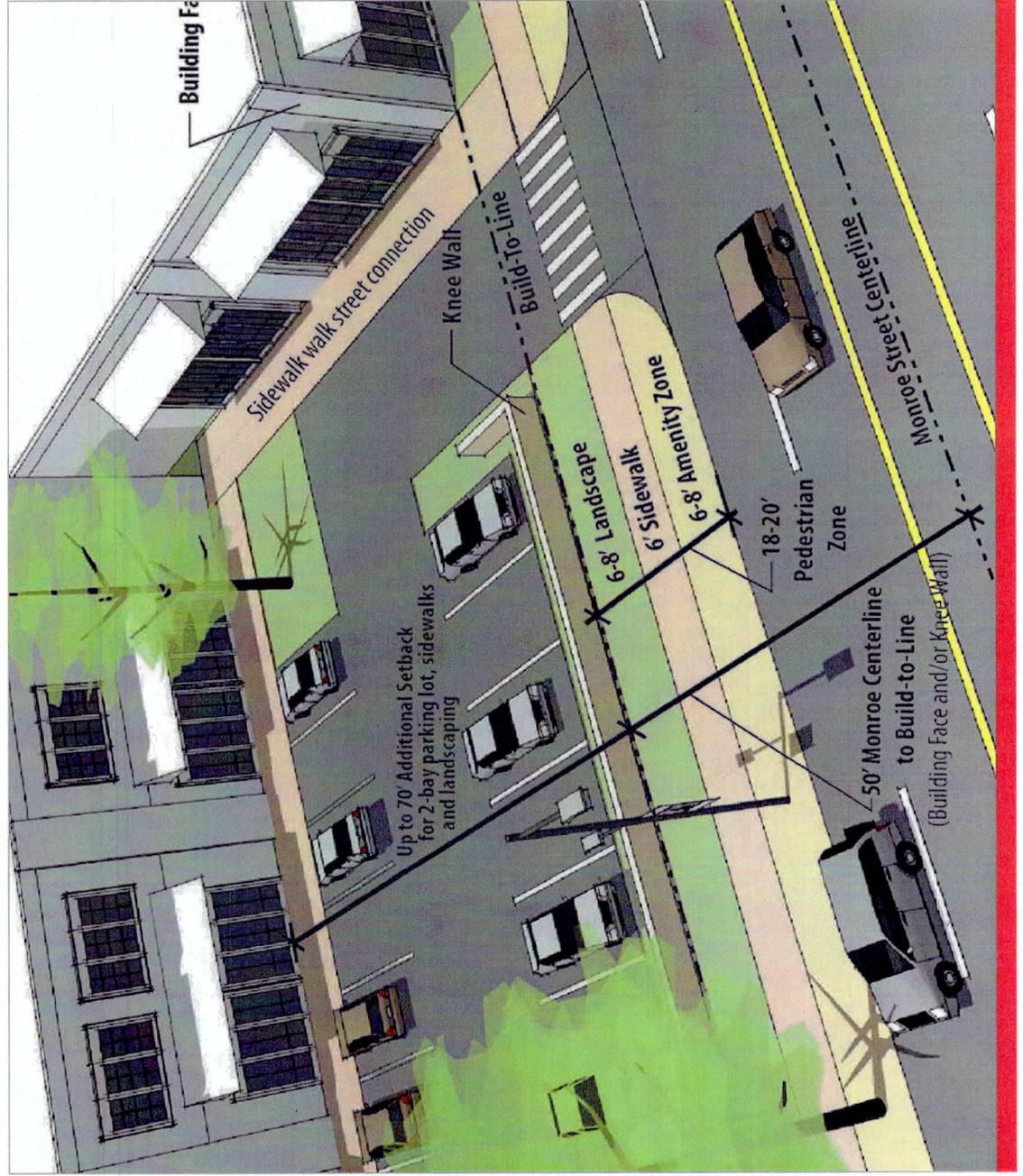
Existing Wall Next to Toledo Memorial Park

Knee wall example used in another community (extends for several miles)



**GAD PRINCIPLE 8.1 >**  
 MASONRY KNEE WALLS THAT ARE PARALLEL TO THE STREET SHOULD BE INCORPORATED INTO SITE DESIGNS WHEN PARKING IS ADJACENT TO THE ROW.

When parking areas are located between the building and the ROW, knee walls should extend across the full width of the adjacent parking area. The knee wall should also be supplemented with landscape treatments that include trees, shrubs and mounding. Stone material (similar in size, color and texture to the material in front of Toledo Memorial Park) should be used.

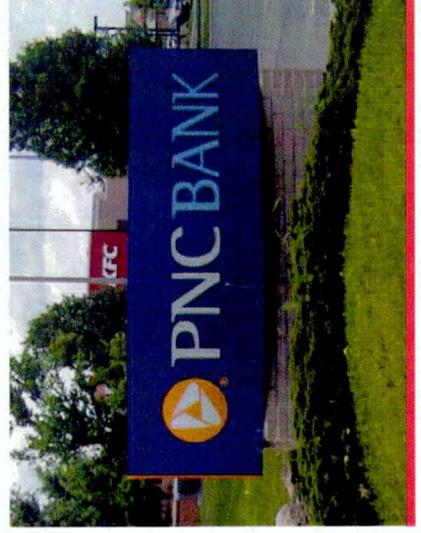


**GAD DESIGN TOPIC 9  
SIGNAGE**

All signage in Sylvania must meet other elements of the Sylvania Sign Code (i.e., type and size) and is subject to design review.



**GAD PRINCIPLE 9.1 > FREESTANDING SIGNS** may be internally or externally illuminated. Exterior light sources must direct light only toward the sign. All freestanding signs shall also incorporate masonry elements or otherwise use materials similar to those found on the principal structure and/or the knee wall (if provided). When knee walls are provided, signage shall be located between the knee wall and the principal building.



13

NOTICE TO LEGISLATIVE AUTHORITY

OHIO DIVISION OF LIQUOR CONTROL  
6606 TUSSING ROAD, P.O. BOX 4005  
REYNOLDSBURG, OHIO 43068-9005  
(614)644-2360 FAX(614)644-3166

TO

1587080 <small>PERMIT NUMBER</small>		NEW <small>TYPE</small>	COBACU LLC DBA TEKELA 5147 MAIN ST SYLVANIA OH 43560	
ISSUE DATE				
04 06 2016 <small>FILING DATE</small>				
D5I <small>PERMIT CLASSES</small>				
48 <small>TAX DISTRICT</small>	077 <small>TAX DISTRICT</small>	A <small>TAX DISTRICT</small>	B14476 <small>RECEIPT NO.</small>	

FROM 04/08/2016

PERMIT NUMBER		TYPE		
ISSUE DATE				
FILING DATE				
PERMIT CLASSES				
TAX DISTRICT			RECEIPT NO.	



MAILED 04/08/2016

RESPONSES MUST BE POSTMARKED NO LATER THAN. 05/09/2016

IMPORTANT NOTICE

PLEASE COMPLETE AND RETURN THIS FORM TO THE DIVISION OF LIQUOR CONTROL  
WHETHER OR NOT THERE IS A REQUEST FOR A HEARING.  
REFER TO THIS NUMBER IN ALL INQUIRIES **A NEW 1587080**

(TRANSACTION & NUMBER)

(MUST MARK ONE OF THE FOLLOWING)

WE REQUEST A HEARING ON THE ADVISABILITY OF ISSUING THE PERMIT AND REQUEST THAT  
THE HEARING BE HELD  IN OUR COUNTY SEAT.  IN COLUMBUS.

WE DO NOT REQUEST A HEARING.

DID YOU MARK A BOX? IF NOT, THIS WILL BE CONSIDERED A LATE RESPONSE.

PLEASE SIGN BELOW AND MARK THE APPROPRIATE BOX INDICATING YOUR TITLE:

(Signature)

(Title)-  Clerk of County Commissioner

(Date)

Clerk of City Council

Township Fiscal Officer

CLERK OF SYLVANIA CITY COUNCIL  
6730 MONROE ST  
SYLVANIA OHIO 43560

1587080 PERMIT NBR  
COBACU LLC  
DBA TEKELA  
5147 MAIN ST  
SYLVANIA OH 43560

\*\*\*\*\*

DAVID COBIAN	04/06/2016 ACTIVE	5%VOT5%MEM
JUAN ACUNA	04/06/2016 ACTIVE	5%VOT5%MEM
JAVIER COBIAN JR	04/06/2016 ACTIVE	5%VOT5%MEM
JAVIER COBIAN	04/06/2016 ACTIVE	5%VOT5%MEM

PA2-KEY = END SESSION, CLEAR-KEY = END OPTION, ENTER-KEY = TO CONTINUE

**City of Sylvania**  
Bank Reconciliation  
March 2016

A

CHECKBOOK BALANCE

Ending balance for February 2016           19,543,330.49

Add: Monthly Receipts                                 2,981,227.68

Subtotal   \$ 22,524,558.17

Less: Monthly Disbursements                         2,294,907.79

Ending balance for March 2016                 \$ 20,229,650.38

Less:

CD Metamora Bank                                 \$ (2,000,000.00)

Star Ohio   (77,133.30)

Petty Cash (1)   (2,050.00)

Cemetery Savings                                     (1,062.86)

Toledo Community Fund                             (31,803.18)

PNC MoneyMarket                                   (1,028,516.75)

Key Bank Securities                                 (1,008,129.67)

5/3rd Securities                                     (5,895,040.69)

SJS Account   (3,466,818.44)

Morgan Stanley Investment                       (2,038,751.30)

Sylvania Township Bonds                         (505,000.00)

   \$ 4,175,344.19

Less:

   \$ 4,175,344.19

(1)

Division of Public Service                         \$ 150.00

Department of Finance                             100.00

Division of Water                                   600.00

Division of Police                                   200.00

Municipal Court                                     700.00

Division of Taxation                               150.00

Division of Forestry                               150.00

Petty Cash Balance   \$ 2,050.00

BANK BALANCE

EOM 5/3rd Bank Balance                         \$ 4,176,425.76

Deposit in Transit   1,772.21

Subtotal   \$ 4,178,197.97

Less: Outstanding Checks (2)                         2,853.78

Adjusted Bank Balance                             \$ 4,175,344.19

(2)

Feb Outstanding Checks                             \$ 38,440.98

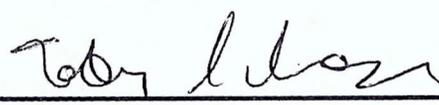
Checks written this month                         948,964.14

Voided check #68012                                 (81.25)

Subtotal   \$ 987,323.87

Checks Cleared   (984,470.09)

March Outstanding Checks                         \$ 2,853.78



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Toby Schroyer  
Director of Finance, City of Sylvania



B

**Board of County  
Commissioners**  
Tina Skeldon Wozniak  
*President*  
**Pete Gerken**  
**Carol Contrada**

Jody L. Balogh  
*Clerk of the Board*

April 5, 2016

Ms. Sharon Bucher  
Clerk of Council  
City of Sylvania  
6730 Monroe Street  
Sylvania, OH 43560

Re: Annexation Petitions 2016-1 and 2016-2  
Portions of Sylvania Township to the City of Sylvania

Dear Ms. Bucher:

Attached are Resolutions 16-245 and 16-246 amending the hearing date for the above-reference annexations. The hearing dates were changed from March 22, 2016 to April 19, 2016 due to the newspaper's error in not publishing notice of the public hearing, as required by ORC 709.03(B)(3), on the date requested by the Agent for the petitioners.

If you need additional information, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Jody L. Balogh".

Jody L. Balogh, Clerk

/jlb  
enc.

**Date:** March 22, 2016

**Resolution No. 16-245**

**Title:** Amending the Hearing Date for Annexation Petition No. 2016-1, Portions of Sylvania Township to the City of Sylvania, Parcel Nos. 78-80064 and 78-80134 (0.911 acres±)

**Department/Agency:** Commissioners

**Contact:** Jody L. Balogh, Clerk

**Summary/Background:** There was filed with this Board on January 4, 2016, a petition for the annexation by a majority of the owners of approximately 0.911 acres of land, more or less, of real estate in Sylvania Township to the City of Sylvania by James A. Moan, Esq., agent for the petitioners. The petitioner requests that the territory be annexed pursuant to the **Regular Annexation** procedures contained in R.C. 709.02

On January 11, 2016 by Resolution 16-31, the Annexation Petition No. 2016-1 hearing date and time was set for March 22, 2016 at 11:00 a.m.

On March 16, 2016, this Board was notified by the Agent for the Petitioners that due to an error the legal notice of the public hearing was not published in the newspaper in advance of the public hearing. Therefore, the agent for the petitioners is requesting the hearing be postponed to allow for the required publication.

**Budget Impact:** N/A

**Statutory Authority/ORC:** 709.02

**Commissioner Skeldon Wozniak offered the following resolution:**

WHEREAS, in consideration of the above, NOW, THEREFORE BE IT RESOLVED by the Board of County Commissioners, Lucas County, Ohio, that:

Section 1. This Board hereby amends the hearing date for Annexation Petition No. 2016-1, Portions of Sylvania Township to the City of Sylvania, Parcel Nos. 78-80064 and 78-80134 (0.911 acres±), from March 22, 2016 at 11:00 a.m. to April 19, 2016 at 11:00 a.m.

Section 2. This Board finds and determines that all formal actions of this Board concerning and relating to the adoption of this resolution were taken in an open meeting of this Board and that all deliberations of this Board that resulted in those formal actions were in a meeting open to the public in compliance with the law.

March 22, 2016

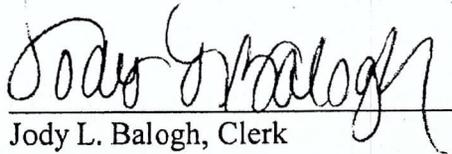
Amending the Hearing Date for Annexation Petition No. 2016-1, Portions of Sylvania Township to the City of Sylvania, Parcel Nos. 78-80064 and 78-80134 (0.911 acres±)

Page 2

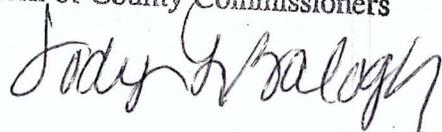
Section 3. This resolution shall be in full force and effect from and immediately upon its adoption.

**Action Taken:**

Commissioner Skeldon Wozniak voted yes  
Commissioner Gerken voted yes  
Commissioner Contrada voted yes

  
\_\_\_\_\_  
Jody L. Balogh, Clerk

I hereby certify that the foregoing is a true and exact copy of Resolution No. 116-245 duly passed by the Board of County Commissioners, Lucas County, Ohio, at its meeting on March 22, 2016  
Clerk of County Commissioners



**Date:** March 22, 2016

**Resolution No. 16-246**

**Title:** Amending the Hearing Date for Annexation Petition No. 2016-2, Portions of Sylvania Township to the City of Sylvania – Parcel Nos. 78-24251, 78-24197, 79-07191, 79-75200, 78-24151, 78-24194, 78-24204 (18.73± acres)

**Department/Agency:** Commissioners

**Contact:** Jody L. Balogh, Clerk

**Summary/Background:** There was filed with this Board on January 4, 2016, a petition for the annexation by a majority of the owners of approximately 18.73 acres of land, more or less, of real estate in Sylvania Township to the City of Sylvania by James A. Moan, Esq., agent for the petitioners. The petitioner requests that the territory be annexed pursuant to the **Regular Annexation** procedures contained in R.C. 709.02

On January 11, 2016 by Resolution 16-32, the Annexation Petition No. 2016-2 hearing date and time was set for March 22, 2016 at 11:00 a.m.

On March 16, 2016, this Board was notified by the Agent for the Petitioners that due to an error the legal notice of the public hearing was not published in the newspaper in advance of the public hearing. Therefore, the agent for the petitioners is requesting the hearing be postponed to allow for the required publication.

**Budget Impact:** N/A

**Statutory Authority/ORC:** 709.02

**Commissioner Skeldon Wozniak offered the following resolution:**

WHEREAS, in consideration of the above, NOW, THEREFORE BE IT RESOLVED by the Board of County Commissioners, Lucas County, Ohio, that:

Section 1. This Board hereby amends the hearing date for Annexation Petition No. 2016-2, Portions of Sylvania Township to the City of Sylvania – Parcel Nos. 78-24251, 78-24197, 79-07191, 79-75200, 78-24151, 78-24194, 78-24204 (18.73± acres), from March 22, 2016 at 11:00 a.m. to April 19, 2016 at 11:00 a.m.

Section 2. This Board finds and determines that all formal actions of this Board concerning and relating to the adoption of this resolution were taken in an open meeting of this Board and that all deliberations of this Board that resulted in those formal actions were in a meeting open to the public in compliance with the law.

March 22, 2016

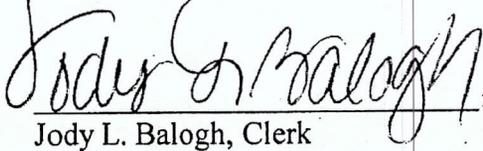
Amending the Hearing Date for Annexation Petition No. 2016-2, Portions of Sylvania Township to the City of Sylvania – Parcel Nos. 78-24251, 78-24197, 79-07191, 79-75200, 78-24151, 78-24194, 78-24204 (18.73± acres)

Page 2

Section 3. This resolution shall be in full force and effect from and immediately upon its adoption.

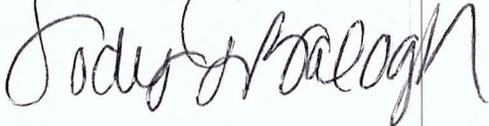
**Action Taken:**

Commissioner Skeldon Wozniak voted yes  
Commissioner Gerken voted yes  
Commissioner Contrada voted yes



Jody L. Balogh, Clerk

I hereby certify that the foregoing is a true and exact copy of Resolution No. 16-246 duly passed by the Board of County Commissioners, Lucas County, Ohio, at its meeting on March 22, 2016  
Clerk of County Commissioners



C

## Sylvania Municipal Planning Commission

Minutes of the regular meeting of April 13, 2016. Mr. Lindsley called the meeting to order.

Members present: Mayor Craig Stough, Ken Marciniak, Daniel Arnold, Brian McCann, and Thomas Lindsley (5) present. Zoning Administrator, Timothy Burns and Deputy Service Director, Joe Shaw, present.

Mr. Arnold moved, Mr. McCann seconded to approve the Minutes of the March 16, 2016, meeting as submitted. Vote being: Stough, McCann, Marciniak, Arnold and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote.

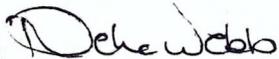
Council Referral – Zoning Ordinance Amendment Petition No. ZA-1-2016, a request from David Schmitt to change the zoning from R-1, “Single-Family Residential Large Lot District” to R-3 PD, “Multiple Dwelling Medium Density District” for property located at 4337 McCord Road, Sylvania, Ohio 43560 (continued from the March 16, 2016 meeting). Mr. David Schmitt and Mr. George Oravez present. Mayor Stough pointed out that the members have received a revised drawing and Mr. Shaw stated that the new drawings reflected the change of the originally requested zoning change of R-3 PD to the revised requested zoning change of R-1 PD; and also that there were some changes to some of the dimensions which were based on the Service Departments comments. Mayor Stough stated that there was a letter from the Service Department (March 10, 2016 Development Plan Review) that should be referred to in the Planning Commission’s motion. Mr. Shaw agreed and said that the letter contained reference to Lucas County Access regulations and that the City noted that the development falls a little short on a couple of the requirements (corner spacing and distance between roads); but that in the case of this development it would not be a problem. There was also further discussion about the agreement that Mr. Schmitt made previously to install sidewalks, which were not shown on the drawing. Mr. Schmitt stated that there will be sidewalks on one side of the roads going around the perimeter of the development. Mr. Shaw stated that this is a private development and the City would be providing utilities (water and sewer) but that no other services would be provided. Jeff and Beth Johnson of 6748 Victoria Ct., Sylvania, Ohio were present. They expressed concerns about the development, as their property backs up to the property. Mr. Schmitt explained that the development would consist of both 1 and 2 two unit villas and that the community will be geared to, although not restricted to, the senior community. He also explained that the 2 unit villas would be rentals in the \$1,500 to \$1,600 range; and that HOA would be established. Mr. and Mrs. Johnson asked about screening and stated that presently there were trees that provided screening. Mr. Schmitt stated that there were no plans to make changes to the screening at this time but that he would be willing to install privacy fencing if they wished. He further stated that he would be happy to meet with them and any other residents to discuss the development. Mr. and Mrs. Johnson also expressed concerns about the congestion of traffic during the morning and afternoon hours with school across the street. Further discussion took place and it was agreed that although there is congestion during the morning and afternoon hours, that that are two access points to the development and that being that this will be a senior type residence, there should not be too much added congestion. Mayor Stough explained that the Planning Commission will be making a recommendation to Council to approve or not approve the requested zoning amendment; and that

**Planning Commission**  
**Meeting Minutes of April 13, 2016**  
**Page 2**

a Public Hearing would then be scheduled before Council would make their decision. Mr. Marciniak moved, Mr. Arnold seconded, to recommend that Council approve a zoning change to R-1 PD, inclusive of meeting the requirements of the Service Department's March 10, 2016 Development Plan Review. Vote being: Stough, McCann, Marciniak, Arnold and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote.

Mr. Marciniak moved, Mr. McCann seconded to adjourn the meeting. All present voted aye. Meeting adjourned.

Submitted by,



Debra Webb, Secretary  
Municipal Planning Commission

Board of Architectural Review

Minutes of the regular meeting of April 13, 2016. Mr. Lindsley called the meeting to order.

Members present: Mayor Craig Stough, Ken Marciniak, Daniel Arnold, Brian McCann, and Thomas Lindsley (5) present. Zoning Administrator, Timothy Burns and Deputy Service Director, Joe Shaw, present.

Mr. Arnold moved, Mr. McCann seconded to approve the Minutes of the March 16, 2016, meeting as submitted. Vote being: Stough, Arnold, McCann, Marciniak and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote.

Item 3 – Regulated Sign – app. no. 9 – 2016 requested by Cute Signs for Damascene Grill, 5834 Monroe Street, Sylvania, Ohio 43560. Application is for new tenant panel in an existing pole sign. Sign is within the limits of the Sylvania Sign Code. Mr. Marciniak moved, Mr. McCann seconded, to grant a Certificate of Appropriateness for the sign shown in the drawing submitted with the application. Vote being: McCann, Marciniak, Arnold, Stough and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote.

Item 4 – Regulated Sign – app. no. 11 – 2016 requested by Myra Gueli of Toledo Sign Co. for J & G Pizza, 5692 Main Street, Sylvania, Ohio 43560. Application is for replacement panel in the existing lower section of a hanging sign. Ms. Gueli was present. Mr. Marciniak moved, Mr. Arnold seconded, to grant a Certificate of Appropriateness for the sign shown in the drawing submitted with the application. Vote being: McCann, Marciniak, Arnold, Stough and Lindsley (5) aye; (0) nay. Motion passed by a 5 to 0 vote.

Mr. McCann moved, Mr. Arnold seconded to adjourn the meeting. All present voted aye. Meeting adjourned.

Submitted by,



Debra Webb, Secretary  
Municipal Planning Commission